

HARBOR HIGHLANDS - HOUSE TYPE H5



DRAWING INDEX:

GENERAL	TITLE SHEET AND DRAWING INDEX	NO SCALE
A0.0	TITLE SHEET AND DRAWING INDEX	NO SCALE
A0.1	GENERAL NOTES	NO SCALE
SURVEY		
SURVEY 1	EXISTING CONDITIONS	SEE DRAWINGS
SURVEY 2	FINAL PLAT	SEE DRAWINGS
CIVIL ENGINEERING CIVIL DRAWINGS ISSUED SEPARATELY		
ARCHITECTURAL		
PLANS		
A1.0-W2	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.0-W3	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.0-W9	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.0-W10	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.1	NOT USED	1/4" = 1'-0"
A1.2	FOUNDATION PLAN	1/4" = 1'-0"
A1.3	FLOOR PLAN MAIN	1/4" = 1'-0"
A1.4	FLOOR PLAN 2ND	1/4" = 1'-0"
A1.5	ROOF PLAN LONG RIDGE	1/4" = 1'-0"
A1.6	ROOF PLAN SHORT RIDGE	1/4" = 1'-0"
ELEVATIONS		
A3.0	EXTERIOR ELEVATIONS - FRONT GABLE	1/4" = 1'-0"
A3.1	EXTERIOR ELEVATIONS - SIDE GABLE	1/4" = 1'-0"
SECTIONS		
A4.0	BUILDING SECTION - FRONT GABLE CROSS	3/8" = 1'-0"
A4.1	BUILDING SECTION - FRONT GABLE LONG	3/8" = 1'-0"
A4.2	BUILDING SECTION - SIDE GABLE CROSS	3/8" = 1'-0"
A4.3	BUILDING SECTION - SIDE GABLE LONG	3/8" = 1'-0"
INTERIOR ELEVATIONS		
A5.0	INTERIOR ELEVATIONS - KITCHENS	1/2" = 1'-0"
DETAILS		
A6.0	SECTION DETAILS	1 1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
DULUTH, MN 55805

CLIENT

ONEROOF COMMUNITY HOUSING

C.O. DEBBIE FREEDMAN
12 E 4TH STREET
DULUTH, MN 55804
dfreedman@1roofhousing.org

ARCHITECT

CITYDESKSTUDIO, INC.
550 VANDALIA STREET
SAINT PAUL, MN 55114
651.644.1106 OFFICE
www.citydeskstudio.com

Contact: BEN AWES, AIA

License No.
46695

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DRAWN BY

BENJAMIN OLSEN

CIVIL ENGINEER

NORTHLAND CONSULTING ENGINEERS
C/O DAVE BOLF
102 SOUTH 21ST AVE W. #1
DULUTH, MINNESOTA 55806

NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE

PROJECT NO.

SHEET TITLE

TITLE SHEET AND DRAWING INDEX

SHEET NO.

A0.0

H5 FRONT GABLE - FRONT ELEVATION

H5 SIDE GABLE - FRONT ELEVATION



KNOW ALL PERSONS BY THESE PRESENTS: That The Housing and Redevelopment Authority of Duluth, Minnesota, owners of the following property:

LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976 Tract B REGISTERED LAND SURVEY NO 82

Have caused the same to be surveyed and platted as HARBOR HIGHLANDS FIRST ADDITION and does hereby dedicate to the public for public use the public way(s) and/or the drainage and utility easement(s) as created by this plat.

GENERAL NOTES

QUALITY ASSURANCE

CONTRACTOR TO COORDINATE CONSTRUCTION MEETINGS W/ PRIMARY SUB-CONTRACTORS AS REASONABLE THROUGHOUT CONSTRUCTION. MEETINGS SHOULD CONSIDER COORDINATION ISSUES BETWEEN TRADES AND CLARIFY RESPECTIVE WORK SCOPE.

PROJECT ALLOWANCES:

PROVIDE ALLOWANCES FOR:

- MILLWORK
 - CABINET LAYOUTS
 - BUILT IN BENCH
 - PEG RAILS
 - HARDWARE
- KITCHEN APPLIANCES
- PLUMBING FIXTURES
- LIGHTING
 - EXTERIOR WALL SCONCES - 1 PER EXTERIOR DOOR
 - INTERIOR BATHROOM WALL SCONCES - 1 PER MEDICINE CABINET
- COUNTERTOPS
- FLOORING (WOOD, MARMOLEUM, CARPET)
- DOOR HARDWARE
 - BRUSHED NICKEL OR STAINLESS STEEL
 - LEVER SETS
- BATH ACCESSORIES

FIELD VERIFY ALL DIMENSIONS

PROVIDE WEEKLY CONSTRUCTION MEETINGS WITH PRIMARY SUBS UNLESS APPROVED BY OWNER OTHERWISE. TO INCLUDE OWNER (AND ARCHITECT VIA PHONE OR VIDEO CONFERENCE AS NEEDED)

REVIEW ALL CHANGES TO DRAWINGS WITH OWNER AND ARCHITECT PRIOR TO IMPLEMENTATION.

PROVIDE MOCK-UP SAMPLE OF ALL FINISH MATERIALS INCLUDING: PAINTED LP SMARTSIDE, MARMOLEUM, HARDWOOD FLOOR, CABINET DOORS, COUNTERTOPS, ALL METAL FLASHING

ARCHITECT TO BE SENT SAMPLES AS NEEDED FOR APPROVAL.

ARCHITECT TO BE GIVEN 2 WEEKS FOR SHOP DRAWING AND MATERIAL SAMPLE APPROVALS, FROM THE TIME OF RECEIPT.

GENERAL BUILDING ASSEMBLY / MATERIALS / SYSTEMS NOTES

02 SITEWORK

LANDSCAPING:

GENERAL CONTRACTOR TO PROVIDE ALL FINAL GRADING PER CIVIL DRAWINGS

03 CONCRETE

SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR EXTENT AND ELEVATIONS OF CONCRETE FOOTINGS AND FOUNDATION.

FOOTINGS:

- PER FOUNDATION PLAN AND WALL SECTION, IN ACCORDANCE WITH MSRBC
- REFERENCE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ENGINEERING, SIZES, REINFORCEMENT, ETC.

CONCRETE FOUNDATION WALLS:

- PER FOUNDATION PLAN AND WALL SECTION, IN ACCORDANCE WITH MSRBC
- SEE FOUNDATION PLAN AND STRUCTURAL FOR LOCATION AND SIZES AND ELEVATIONS.

CONCRETE SLAB:

- PER FOUNDATION PLAN AND WALL SECTION, IN ACCORDANCE WITH MSRBC
- CONCRETE SLAB LAPS FOUNDATION FOAM AT FLOOR LEVEL OPENINGS (GARAGE DOOR, DOORWAYS, ETC.)

05 STRUCTURAL STEEL

- N/A

06 WOOD

- REFERENCE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ENGINEERING, SIZES, REINFORCEMENT, ETC.
- FLOOR TO FLOOR DIMENSIONS ASSUME PRECUT 8" STUDS AND 16" FLOOR TRUSSES, EXCEPT WHERE NOTED OTHERWISE. SEE BUILDING SECTIONS
- TRUSS FABRICATOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

WALL TYPES

SEE A6.0 FOR DETAILED DESCRIPTIONS AND DRAWINGS OF EACH WALL TYPE

07 THERMAL AND MOISTURE PROTECTION

FLASHING:

BREAK METAL:

- ALL DOOR & WINDOW HEADS PER MANUFACTURER RECOMMENDATION
- ALL SIDING HORIZONTAL JOINTS, AND AT LIMITED SIDING VERTICAL JOINTS - SEE ELEVATIONS
- ROOF EDGE CAP FLASHING
- SOFFIT EDGES
- TOP OF STUCCO WALLS
- BOTTOM OF SIDING
- COLOR: TBD
- CONFIRM GAUGE AND FINAL BREAK PROFILES WITH ARCHITECT.
- PROVIDE HIGH TEMP MEMBRANE FLASHING UNDER METAL COPINGS. METAL ROOFING, ROOF FLASHING, ETC.

GUTTERS AND DOWNSPOUTS:

- PAINTED BREAKMETAL BOX SCUPPERS, GUTTERS, AND DOWNSPOUTS PREFERRED

INSULATION:

- MAIN ROOF: MINIMUM R49
- BLOWN CELLULOSE
 - MIN R49 AT 14" ENERGY HEEL

WOOD STUD WALLS: MINIMUM R21 - SEE WALL TYPES

- FIBERGLASS BATT INSULATION
- CLOSED CELL SPRAYFOAM INSULATION AT PENETRATIONS

RIM JOISTS: WHERE RIM JOIST INSULATION REQUIRED - MINIMUM R30

- CLOSED CELL SPRAYFOAM INSULATION

RECESSED OVERHANGS

- CLOSED CELL SPRAYFOAM INSULATION

FOUNDATION INSULATION

- ICF FOUNDATION WALL SYSTEM
- BASEMENT ENERGY WALL NOT APPLICABLE WITH ICF FOUNDATION SYSTEM

CONCRETE FLOORS: R10

- 2" EXTRUDED RIGID INSULATION BELOW SLAB (R5 X 2 = R10)

FROST PROTECTION

- 2" PERIMETER INSULATION EXTENDED OUT 48" FROM FOOTING IN ALL DIRECTIONS
- DOUBLE AT CORNERS

WATERPROOFING:

- FOUNDATION WATERPROOFING PER G.C. IN ACCORDANCE WITH MSRBC
- NOTE: DO NOT EXTEND WATERPROOFING ABOVE GRADE. CONTRACTOR SHALL MASK OFF ALL ABOVE GRADE CONCRETE PRIOR TO APPLICATION OF WATERPROOFING.

DRAINTILE:

- DRAIN TILE ONLY REQUIRED FOR FULL BASEMENT FOUNDATIONS (HOUSE MODELS H3.1, H3.2, H3.3)
- DRAIN TILE TO OUTLET TO DAYLIGHT OR FRENCH DRAIN

ROOFING ASSEMBLIES:

ROOF OVER HOUSE

- PER WALL SECTION, IN ACCORDANCE WITH MSRBC
- MANUFACTURED ROOF TRUSSES HAVE EITHER FRONT-GABLE OR SIDE-GABLE PROFILE
 - FRONT-GABLE: 9:12 PITCH, TYP.
 - SIDE-GABLE: 6:12 PITCH, TYP.
- INTERIOR VAULT DIRECTION COORDINATES WITH ORIENTATION AND PITCH OF FRONT-GABLE OR SIDE-GABLE PROFILE
- ICE AND WATER SHIELD MUST EXTEND UP ROOF DECK 24" PAST EXTERIOR FACE OF FRAMING
- MINIMUM ENERGY HEEL OF 14" REQUIRED
 - IN MANY CASES, ENERGY HEEL MUST BE INCREASED IN ORDER FOR ROOF TRUSS TO RECEIVE PORCH ROOF FRAMING AT 2:12 SLOPE.
- PROVIDE VENTING AT LOW AND HIGH EDGES OF ROOF
 - LOW EDGE: VENTED SOFFIT OR LINEAR INTAKE VENT APPROVED. "TURTLE VENTS" WILL NOT BE ACCEPTED
 - HIGH EDGE/RIDGE: CONTINUOUS RIDGE VENT AND/OR GABLE END VENT APPROVED. "TURTLE VENTS" WILL NOT BE ACCEPTED

ROOF OVER PORCH

- PER WALL SECTION, IN ACCORDANCE WITH MSRBC
- PORCH ROOF'S CAN BE HAND-FRAMED OR MANUFACTURED ROOF TRUSSES
 - 2:12 PITCH, TYPICAL
 - PROFILE PER BUILDING ELEVATIONS AND ROOF PLANS

WALL ASSEMBLIES:

SEE SHEET A6.0 FOR SECTION DETAILS OF ALL WALL TYPES. ALL FRAME WALLS MUST BE BUILT IN ACCORDANCE WITH MSRBC.

08 WINDOWS & DOORS

DOORS:

SEE ELEVATIONS & PLANS FOR SIZES & LOCATIONS

EXTERIOR DOORS:

HOUSE ENTRY DOOR

- FULL LITE STEEL OR FIBERGLASS
- ALL DOOR GLASS TO BE DOUBLE PANE
- GLASS - REVIEW WITH OWNER AND ARCHITECT COATINGS, LOW E, ARGON GAS
- TEMPERED
- WHITE EXTERIOR
- WHITE INTERIOR
- BRUSHED NICKEL OR STAINLESS HARDWARE

GARAGE ENTRY DOOR

- HALF LITE STEEL OR FIBERGLASS
- ALL DOOR GLASS TO BE DOUBLE PANE
- GLASS - REVIEW WITH OWNER AND ARCHITECT COATINGS, LOW E, ARGON GAS
- TEMPERED
- WHITE EXTERIOR
- WHITE INTERIOR
- BRUSHED NICKEL OR STAINLESS HARDWARE

GARAGE OVERHEAD DOOR

- NO PANELS (RAISED OR INSET)
- NO LITES
- SMOOTH (RATHER THAN PEBBLED) TEXTURE PREFERRED

INTERIOR DOORS:

SEE PLANS FOR SIZES & LOCATIONS

- SOLID CORE PREFINISHED SLAB DOORS. SEE SCHEDULE FOR LOCATION.
 - COLOR: WHITE
 - HARDWARE: STAINLESS STEEL OR BRUSHED NICKEL

WINDOWS:

SEE ELEVATIONS & PLANS FOR SIZES & LOCATIONS

- G.C. TO SELECT WINDOW VENDOR
- WINDOW SIZES ARE REPORTED AS R.O.
- WINDOW LAYOUT, SIZING, OPERATION, AND EGRESS TO MATCH DRAWINGS
- MINIMUM DUAL-PANE, LOW-E, ARGON-FILLED. MAX U-VALUE = .32
- WHERE REQUIRED, G.C. TO PROVIDE CODE COMPLIANT FALL PROTECTION
- WHERE REQUIRED, G.C. TO PROVIDE CODE COMPLIANT EGRESS WELL
- ALL WINDOW SUBSTITUTIONS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT

09 FINISHES

FLOORING:

SEE FLOOR PLANS FOR FLOOR FINISHES

EXPOSED CONCRETE FLOOR

- HARD TROWELED FINISH
- 2 COATS H&C CLARISHIELD, MATTE
- PROTECT EXPOSED CONCRETE FLOORS DURING CONSTRUCTION

ENGINEERED WOOD FLOOR

- COLOR AND LINE TO BE APPROVED BY ARCHITECT AND OWNER
- 3/4" ENGINEERED WOOD FLOORING
 - INSTALL PER MANUFACTURER RECOMMENDATION
- 3/4" PLYWOOD SUBFLOOR
- WOOD FLOOR TRUSS

MARMOLEUM

- COLOR AND LINE TO BE APPROVED BY ARCHITECT AND OWNER
- INSTALL PER MANUFACTURER RECOMMENDATION

CARPET

- COLOR AND LINE TO BE APPROVED BY ARCHITECT AND OWNER
- INSTALL PER MANUFACTURER RECOMMENDATION

GARAGE (H3, H3.2, H3.3 ONLY)

- EXPOSED CONCRETE SLAB
 - SLOPED TOWARDS CENTER DRAIN
 - HARD-TROWELED FINISH
- 6 MIL POLY VAPOR BARRIER
- 2" RIGID INSULATION
- 4" TAMPED CRUSHED GRAVEL BASE

PORCH:

- TREX OR SIMILAR

GWB:

- WALLS TO BE 5/8" PAINTED GWB - TWO COATS WITH PRIMER AND EGGHELL TOP COAT.
 - CEILINGS TO BE 5/8" PAINTED GWB - TWO COATS WITH PRIMER AND EGGHELL TOP COAT
- ALL CEILINGS TO BE LEVEL 5 SMOOTH FINISH - NO KNOCKDOWN OR TEXTURE

INTERIOR TRIM:

WINDOWS:

- SHEETROCK RETURNS AT SIDE & HEAD
- PREFINISHED WHITE POPLAR SILL EXTENSIONS JAMB

DOORS

- PREFINISHED WHITE CASING

WALL BASE AT MAIN FLOOR:

- 3-1/4" PREFINISHED WHITE BASEBOARD
- CAULK TOP EDGE
- FILL AND PAINT NAIL HOLES

MILLWORK:

- ALLOWANCE PENDING APPROVED SHOP DRAWINGS AND MATERIALS SELECTIONS AND FINISHES
- FLAT PANEL FULL OVERLAY DOORS AND DRAWERS
- FINISH: ARUCO 'PRISM' TFL FACING OR SIMILAR, TYP.
- HARDWARE: 3" BERENSON EDGE PULL, TYP

PORCH AND FALL PROTECTION DETAILS

EXTERIOR RAILINGS

- WHERE REQUIRED, COORDINATE WITH ARCHITECT TO SPECIFY AND FABRICATE CODE COMPLIANT, COST EFFECTIVE SOLUTION

EXTERIOR STAIR OR RAMP

- WHERE REQUIRED, COORDINATE WITH ARCHITECT TO SPECIFY AND FABRICATE CODE COMPLIANT, COST EFFECTIVE SOLUTION

COMFORT AND LIFE SAFETY SYSTEMS

HEATING

- GAS-FIRED COMBI BOILER
- HYDRONIC IN-SLAB HEAT (LOWEST LEVEL)
- HYDRONIC UNDER FLOOR HEAT (UPPER LEVELS)
- ALTERNATE HEATING SYSTEM BY APPROVAL OF OWNER

COOLING

- NO DEDICATED COOLING SYSTEM PROVIDED

VENTILATION

- HRV
- NO KITCHEN FAN REQ'D. UNLESS HRV DOES NOT MEET CFM REQ'D BY MSRBC
- BATH FANS PER CODE OR DUCTED THROUGH HRV

LIFE SAFETY

- G.C. TO PROVIDE CODE COMPLIANT SMOKE DETECTORS
- G.C. TO PROVIDE CODE COMPLIANT CARBON MONOXIDE DETECTORS
- G.C. TO PROVIDE CODE COMPLIANT PASSIVE RADON DETECTION SYSTEM

ELECTRICAL SYSTEMS

ELECTRICAL

- G.C. TO PROVIDE CODE COMPLIANT OUTLET AND SWITCH LAYOUTS
- G.C. TO PROVIDE DEDICATED CHASE/CONDUIT BETWEEN ELECTRICAL PANEL AND ROOF DECK TO FACILITATE FUTURE SOLAR CONNECTION

PROJECT

HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
DULUTH, MN 55805

CLIENT

ONEROOF COMMUNITY HOUSING

C.O. DEBBIE FREEDMAN
12 E 4TH STREET
DULUTH, MN 55804
dfreedman@1roofhousing.org

ARCHITECT

CITYDESKSTUDIO, INC.

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DRAWN BY

BENJAMIN OLSEN

CIVIL ENGINEER

NORTHLAND CONSULTING ENGINEERS
C/O DAVE BOLF
102 SOUTH 21ST AVE W. #1
DULUTH, MINNESOTA 55806

NOT FOR CONSTRUCTION

PACKAGE _____ ISSUE DATE _____

ADDENDUM 1 _____
(H4 & H5 ONLY) _____

PRICING SET _____ 06.18.2026
06.03.2026

DATE

PROJECT NO.

SHEET TITLE

GENERAL NOTES

SHEET NO.

A0.1



LEGEND

- | | | | |
|------------------------------|----------------------------|-------------------------------------|---------------------------------------|
| (M) FIELD MEASURED DIMENSION | (R) RECORD DIMENSION | (P) DIMENSION FROM CENTRAL OVERLOOK | REFER TO SURVEYOR'S NOTES |
| SECTION SUBDIVISION LINE | RIGHT OF WAY LINE | EXISTING EASEMENT LINE | FOUND CAST IRON MONUMENT |
| EXISTING PLAT LINE | TOE OF BANK OR GRADE BREAK | TOP OF BANK OR GRADE BREAK | FOUND CHISELED X |
| TOE | DITCH/SWALE | EXISTING BUILDING LINE | FOUND T-STAKE MONUMENT RLS. NO. 18164 |
| TOP | CONCRETE CURB & GUTTER | FENCE LINE | FOUND REBAR |
| CONCRETE SURFACE | UTILITY SERVICE | UNDERGROUND ELEC | FOUND CAPPED REBAR RLS. NO. 49505 |
| BITUMINOUS SURFACE | HYDRANT | UNDERGROUND FIBER OPTIC | FOUND CONCRETE MONUMENT |
| ROCK RIP RAP SURFACE | WATER VALVE | UNDERGROUND GAS | FOUND IRON ROD |
| | TELECOM PEDESTAL | SANITARY SEWER | SET CAPPED REBAR RLS. NO. 49505 |
| | CABLE PEDESTAL | STORM SEWER | FOUND MAG NAIL |
| | UTILITY VAULT | UNDERGROUND WATER LINE | GAS METER |
| | DECIDUOUS TREE | | UTILITY SERVICE |
| | POST/BOLLARD | | HYDRANT |
| | UNDERGROUND UTILITY MARKER | | WATER VALVE |
| | ELEC PEDESTAL | | TELECOM PEDESTAL |
| | UTILITY POLE | | CABLE PEDESTAL |
| | SANITARY MANHOLE | | UTILITY VAULT |
| | STORM MANHOLE | | DECIDUOUS TREE |
| | CATCH BASIN | | POST/BOLLARD |
| | CULVERT | | UNDERGROUND UTILITY MARKER |

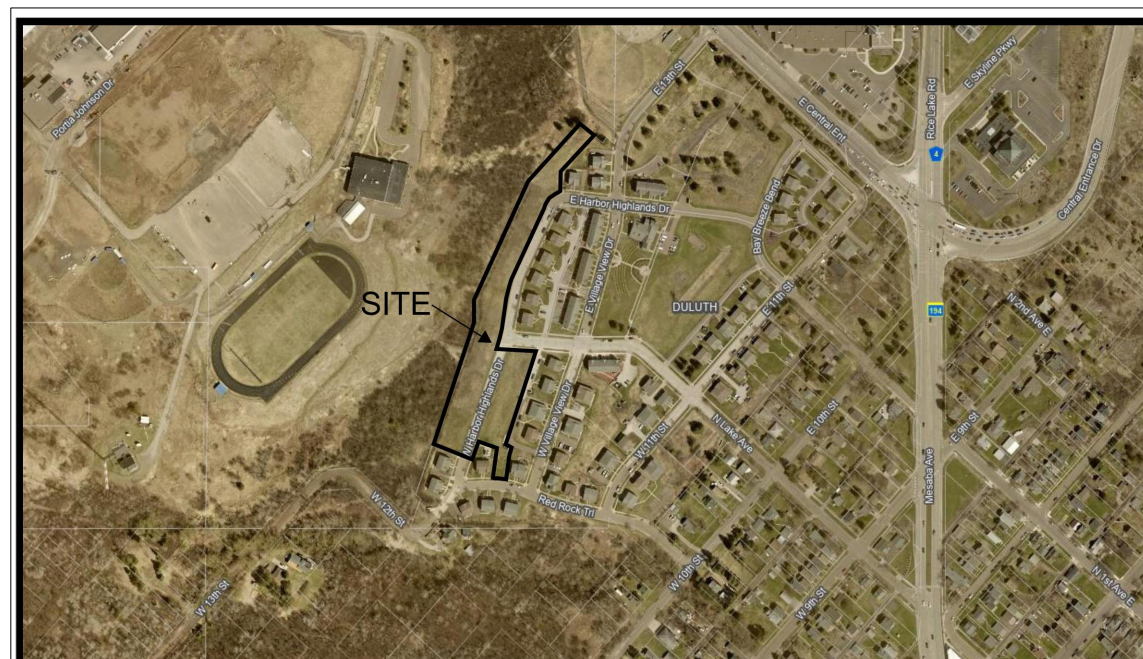
LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976
Tract B REGISTERED LAND SURVEY NO 82

SURVEYOR'S NOTES

- 30 FT UTILITY EASEMENT PER DOC. NO. 878634.
- 20 FT UTILITY EASEMENT PER DOC. NO. 878571.
- 20 FT SHARED USE PATH EASEMENT PER TORRENS DOCUMENT NO. 946969.
- 50 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
- PERMANENT STREET & UTILITY EASEMENT PER DOCUMENT NO. 848935.
- 64 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
- 16 FT ALLEY EASEMENT PER DOCUMENT NO. 867024.
- BIKEWAY EASEMENT PER TORRENS DOCUMENT NO. 436177 & 449749.
- BACKYARD EASEMENT AGREEMENT PER DOCUMENT NO. 836540.
- BEARINGS ARE BASED ON THE MOST WESTERLY LINE OF TRACT B R.L.S. NO. 82 WHICH IS ASSUMED TO HAVE A BEARING OF N18°46'31"E (ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996) (DAD 83 2011).
- THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR SHOWING THE LOCATION OF RECORDED OR UNRECORDED EASEMENTS OR OTHER ENCUMBRANCES NOT PROVIDED TO THE SURVEYOR AS OF THE DATE OF THE SURVEY.
- NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.
- BENCHMARK SHOWN ON SURVEY.
- DUE TO SNOW AND ICE COVERAGE, SOME FEATURES MAY NOT HAVE BEEN VISIBLE DURING THE COURSE OF THIS SURVEY.

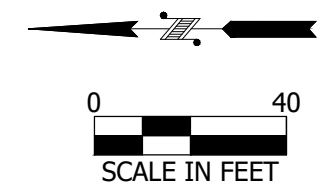
UNDERGROUND UTILITIES NOTES

- UTILITIES SHOWN HEREON, HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR, ENGINEER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.
- UNDERGROUND UTILITIES SHOWN ON THE SURVEY ARE BASED IN PART ON MARKINGS PROVIDED BY GOPHER STATE ONE CALL TICKET NUMBERS 260963260, 260963261, 260963263 AND 260963264.
- SOME UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED BY MAPS AND OR UTILITY SKETCHES PROVIDED BY UTILITY COMPANIES, CITY OR COUNTY GIS. LOCATIONS ARE APPROXIMATE.
- UTILITIES SHOWN ON THIS SURVEY ARE SHOWN FOR APPROXIMATE LOCATION ONLY AND SHOULD BE VERIFIED BEFORE ANY EXCAVATION OR CONSTRUCTION.
- PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON THIS SURVEY. CONTACT A PRIVATE UTILITY LOCATOR FOR LOCATIONS.
- FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.



VACANT PROPERTY
HARBOR HIGHLANDS
DRIVE, DULUTH, MN 55805

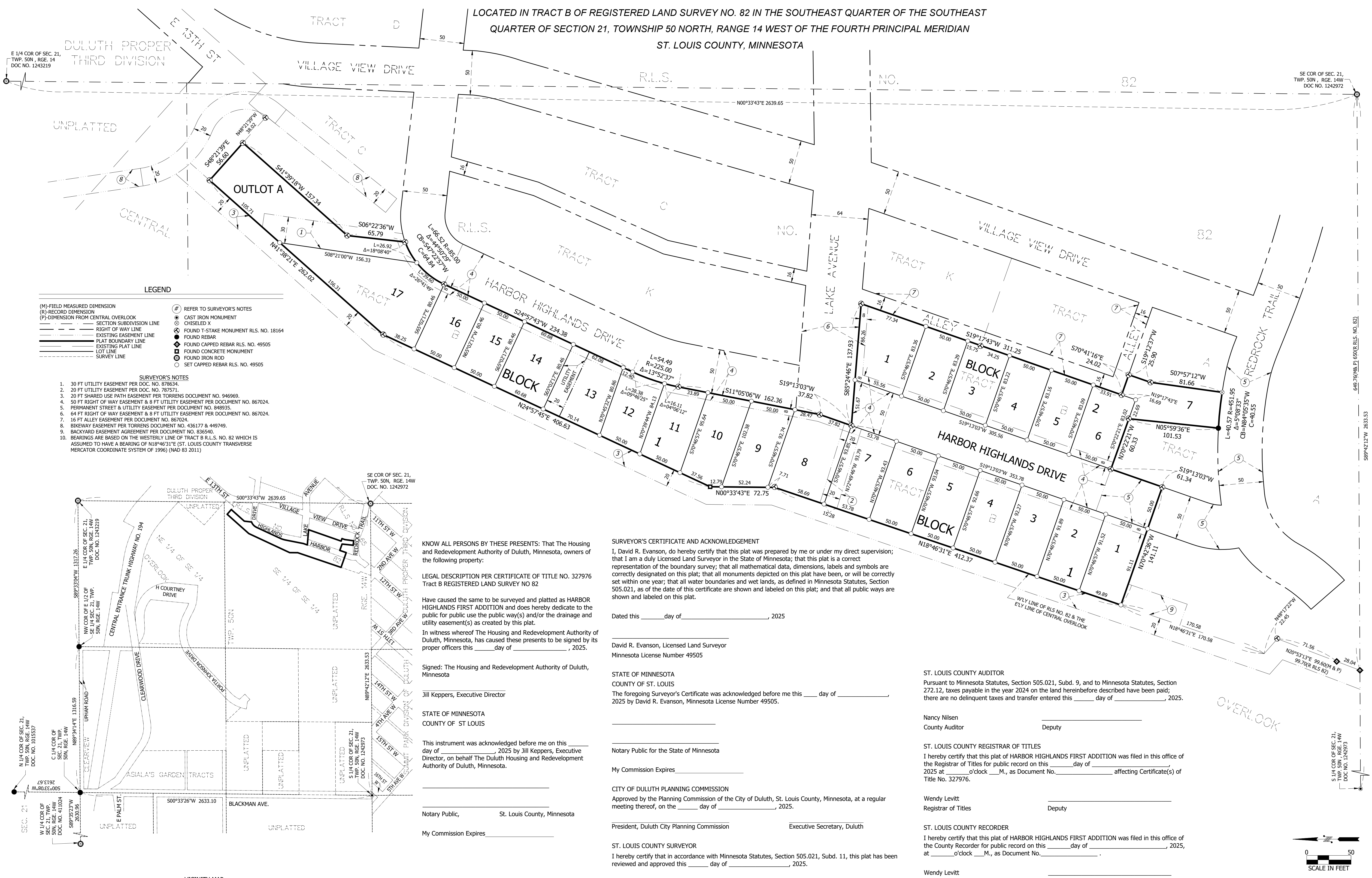
VICINITY MAP



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. David R. Evanson DATE: 04-15-2026 MN License # 49505	BOUNDARY & TOPOGRAPHIC SURVEY		ALTA LAND SURVEY COMPANY PHONE: 218-727-5311 LICENSED IN MN & WI WWW.ALTLANDSURVEY.COM
	CLIENT: ONE ROOF HOUSING ADDRESS: HARBOR HIGHLAND DRIVE	REVISIONS:	

PLAT OF HARBOR HIGHLANDS FIRST ADDITION

LOCATED IN TRACT B OF REGISTERED LAND SURVEY NO. 82 IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 50 NORTH, RANGE 14 WEST OF THE FOURTH PRINCIPAL MERIDIAN
ST. LOUIS COUNTY, MINNESOTA



LEGEND

- (M) - FIELD MEASURED DIMENSION
- (R) - RECORD DIMENSION
- (P) - DIMENSION FROM CENTRAL OVERLOOK
- SECTION SUBDIVISION LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- PLAT BOUNDARY LINE
- EXISTING PLAT LINE
- LOT LINE
- SURVEY LINE
- ⊕ REFER TO SURVEYOR'S NOTES
- ⊗ CHISELED X
- ⊙ FOUND T-STAKE MONUMENT R.L.S. NO. 18164
- ⊙ FOUND REBAR
- ⊙ FOUND CAPPED REBAR R.L.S. NO. 49505
- ⊙ FOUND CONCRETE MONUMENT
- ⊙ FOUND IRON ROD
- SET CAPPED REBAR R.L.S. NO. 49505

SURVEYOR'S NOTES

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KNOW ALL PERSONS BY THESE PRESENTS: That The Housing and Redevelopment Authority of Duluth, Minnesota, owners of the following property:

LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976 Tract B REGISTERED LAND SURVEY NO 82

Have caused the same to be surveyed and platted as HARBOR HIGHLANDS FIRST ADDITION and does hereby dedicate to the public for public use the public way(s) and/or the drainage and utility easement(s) as created by this plat.

In witness whereof The Housing and Redevelopment Authority of Duluth, Minnesota, has caused these presents to be signed by its proper officers this _____ day of _____, 2025.

Signed: The Housing and Redevelopment Authority of Duluth, Minnesota

Jill Keppers, Executive Director

STATE OF MINNESOTA
COUNTY OF ST LOUIS

This instrument was acknowledged before me on this _____ day of _____, 2025 by Jill Keppers, Executive Director, on behalf The Duluth Housing and Redevelopment Authority of Duluth, Minnesota.

Notary Public, St. Louis County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE AND ACKNOWLEDGEMENT
I, David R. Evanson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data, dimensions, labels and symbols are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.021, as of the date of this certificate are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2025

David R. Evanson, Licensed Land Surveyor
Minnesota License Number 49505

STATE OF MINNESOTA
COUNTY OF ST. LOUIS

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 2025 by David R. Evanson, Minnesota License Number 49505.

Notary Public for the State of Minnesota

My Commission Expires _____

CITY OF DULUTH PLANNING COMMISSION
Approved by the Planning Commission of the City of Duluth, St. Louis County, Minnesota, at a regular meeting thereof, on the _____ day of _____, 2025.

President, Duluth City Planning Commission _____ Executive Secretary, Duluth _____

ST. LOUIS COUNTY SURVEYOR
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 2025.

Nick C. Stewart
County Surveyor _____ Deputy _____

ST. LOUIS COUNTY AUDITOR
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, and to Minnesota Statutes, Section 272.12, taxes payable in the year 2024 on the land hereinbefore described have been paid; there are no delinquent taxes and transfer entered this _____ day of _____, 2025.

Nancy Nilsen
County Auditor _____ Deputy _____

ST. LOUIS COUNTY REGISTRAR OF TITLES
I hereby certify that this plat of HARBOR HIGHLANDS FIRST ADDITION was filed in this office of the Registrar of Titles for public record on this _____ day of _____, 2025 at _____ o'clock _____ M., as Document No. _____ affecting Certificate(s) of Title No. 327976.

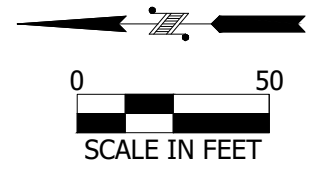
Wendy Levitt
Registrar of Titles _____ Deputy _____

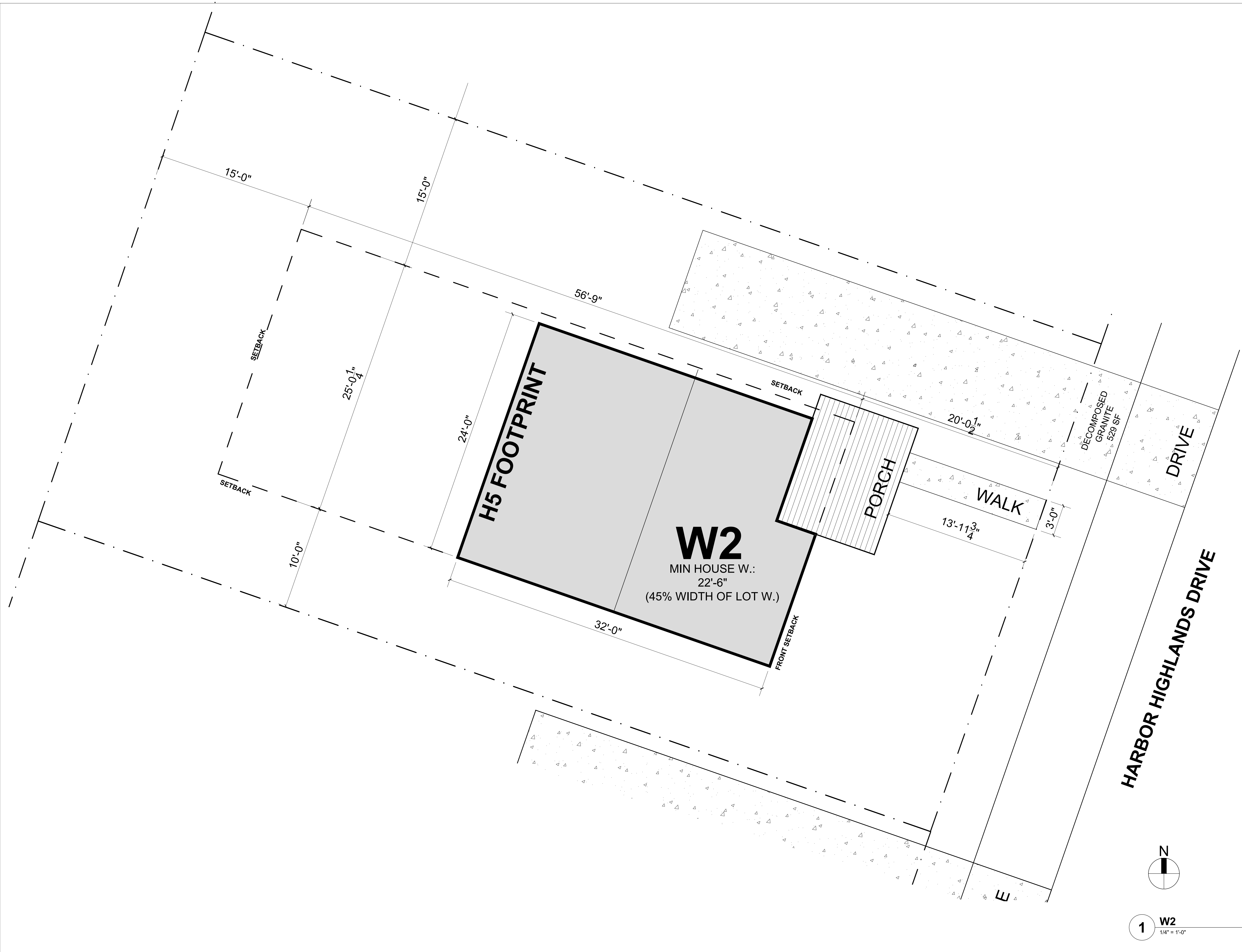
ST. LOUIS COUNTY RECORDER
I hereby certify that this plat of HARBOR HIGHLANDS FIRST ADDITION was filed in this office of the County Recorder for public record on this _____ day of _____, 2025, at _____ o'clock _____ M., as Document No. _____.

Wendy Levitt
County Recorder _____ Deputy _____



VICINITY MAP
NO SCALE
SE 1/4 OF SEC. 21, TWP. 50N, RGE. 14W





PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
 12 E 4TH STREET
 DULUTH, MN 55804
 dfreedman@1roofhousing.org

ARCHITECT
CITYDESKSTUDIO, INC.
 550 VANDALIA STREET
 SAINT PAUL, MN 55114
 651.644.1106 OFFICE
 www.citydeskstudio.com
 Contact: BEN AWES, AIA

License No.
 46695
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DRAWN BY
BENJAMIN OLSEN

CIVIL ENGINEER
 NORTHLAND CONSULTING ENGINEERS
 C/O DAVE BOLF
 102 SOUTH 21ST AVE W. #1
 DULUTH, MINNESOTA 55806

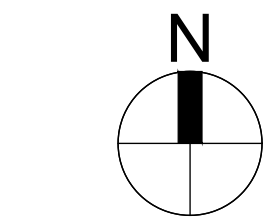
NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE
 PROJECT NO.

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W2



1 W2
 1/4" = 1'-0"



PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
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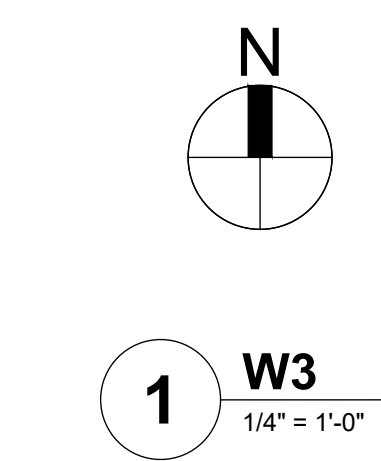
NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE _____
 PROJECT NO. _____

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W3



PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
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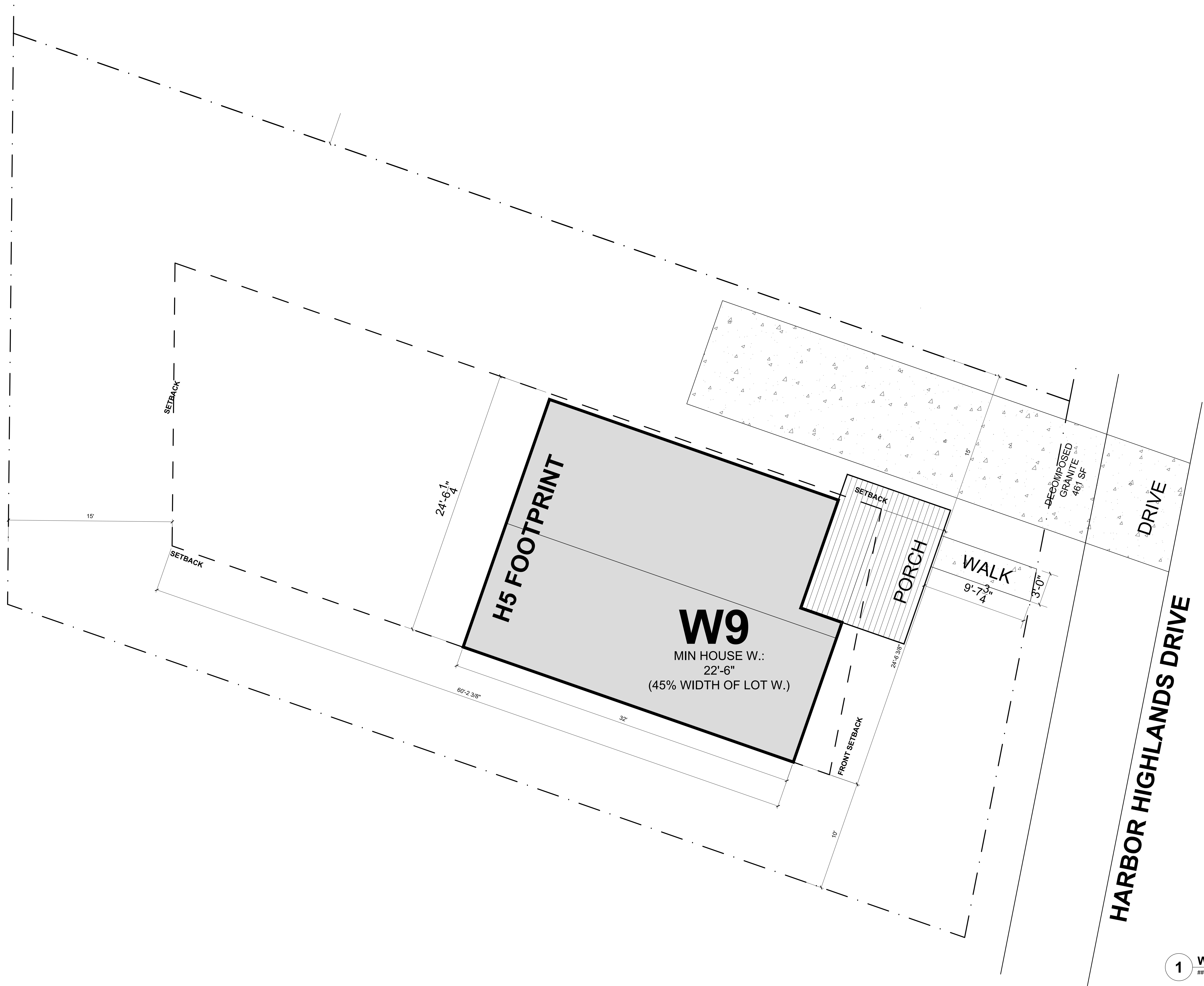
**NOT FOR
 CONSTRUCTION**

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE _____
 PROJECT NO. _____

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W9



1 W9
 #####

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
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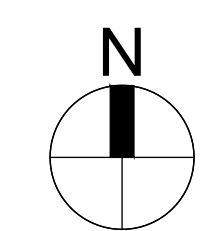
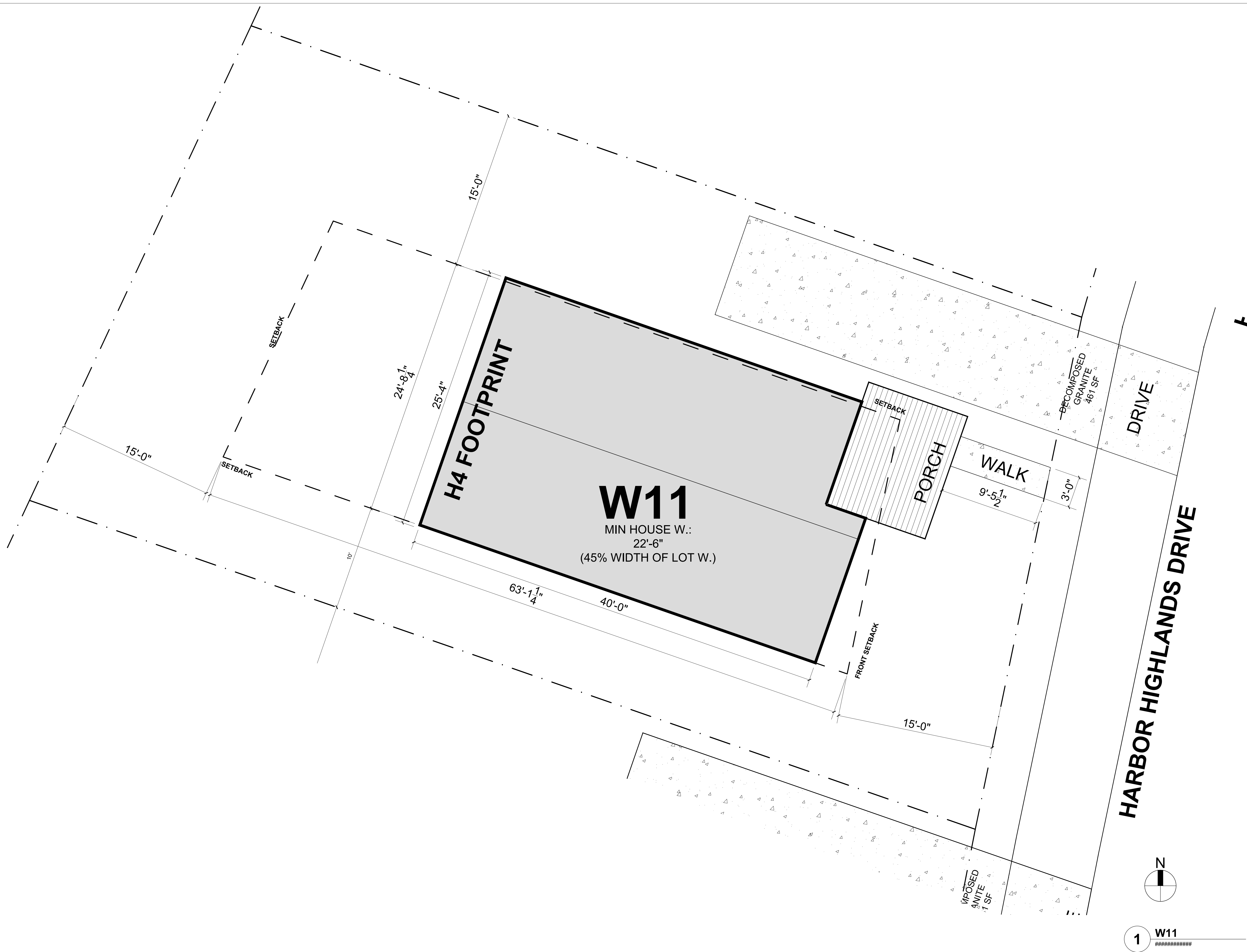
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PRICING SET	06.03.2026

DATE
PROJECT NO.

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W11



1 W11
 #####

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HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

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**NOT FOR
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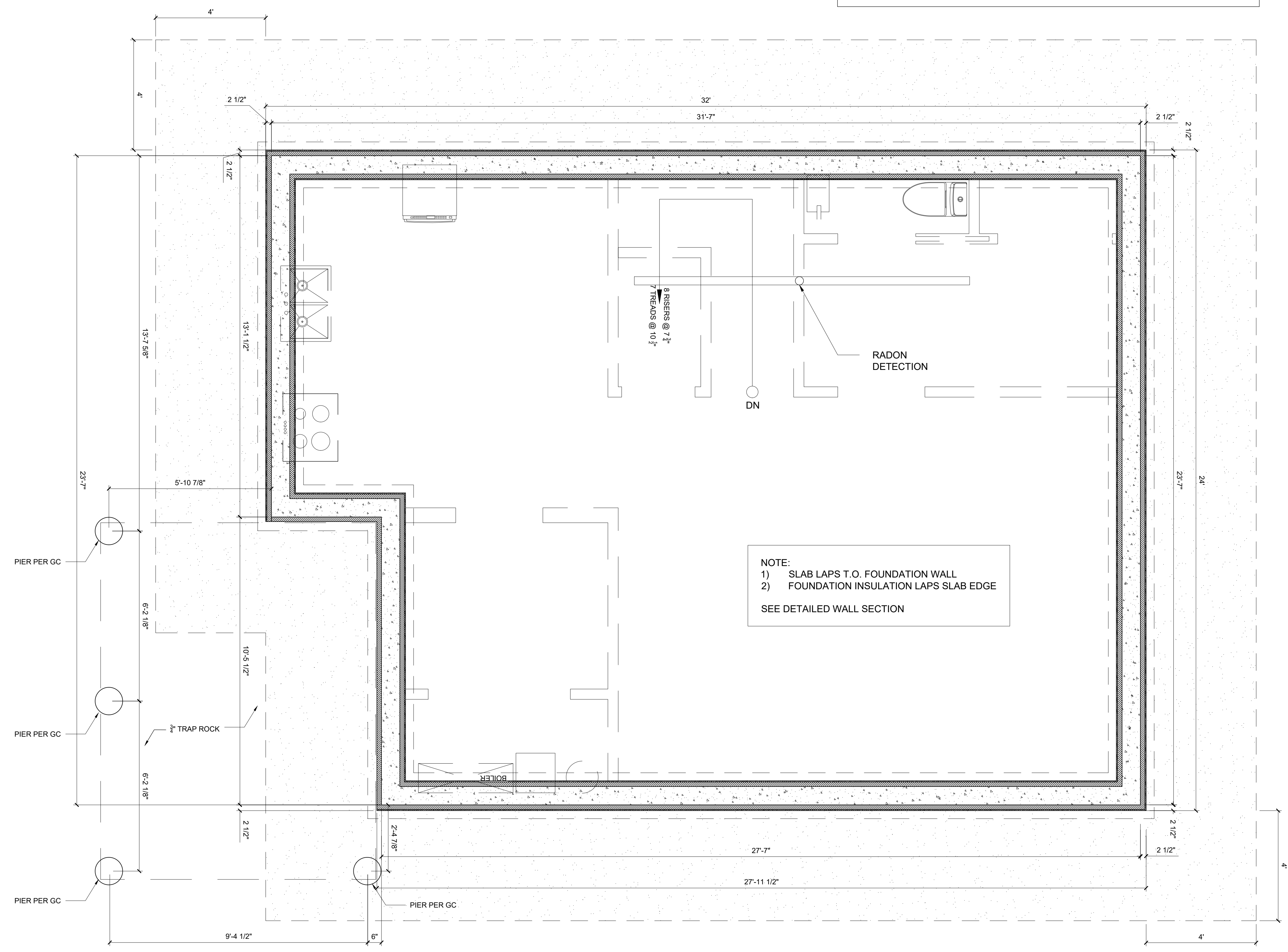
PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE
PROJECT NO.

SHEET TITLE
FLOOR PLAN

SHEET NO.
A1.2

NOTE: G.C. TO PROVIDE PASSIVE RADON DETECTION
 SYSTEM SUB-SLAB IN COMPLIANCE WITH MSRBC 1303.2402



1 H5 - FOUNDATION PLAN
 1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT

ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
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PACKAGE	ISSUE DATE
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DATE

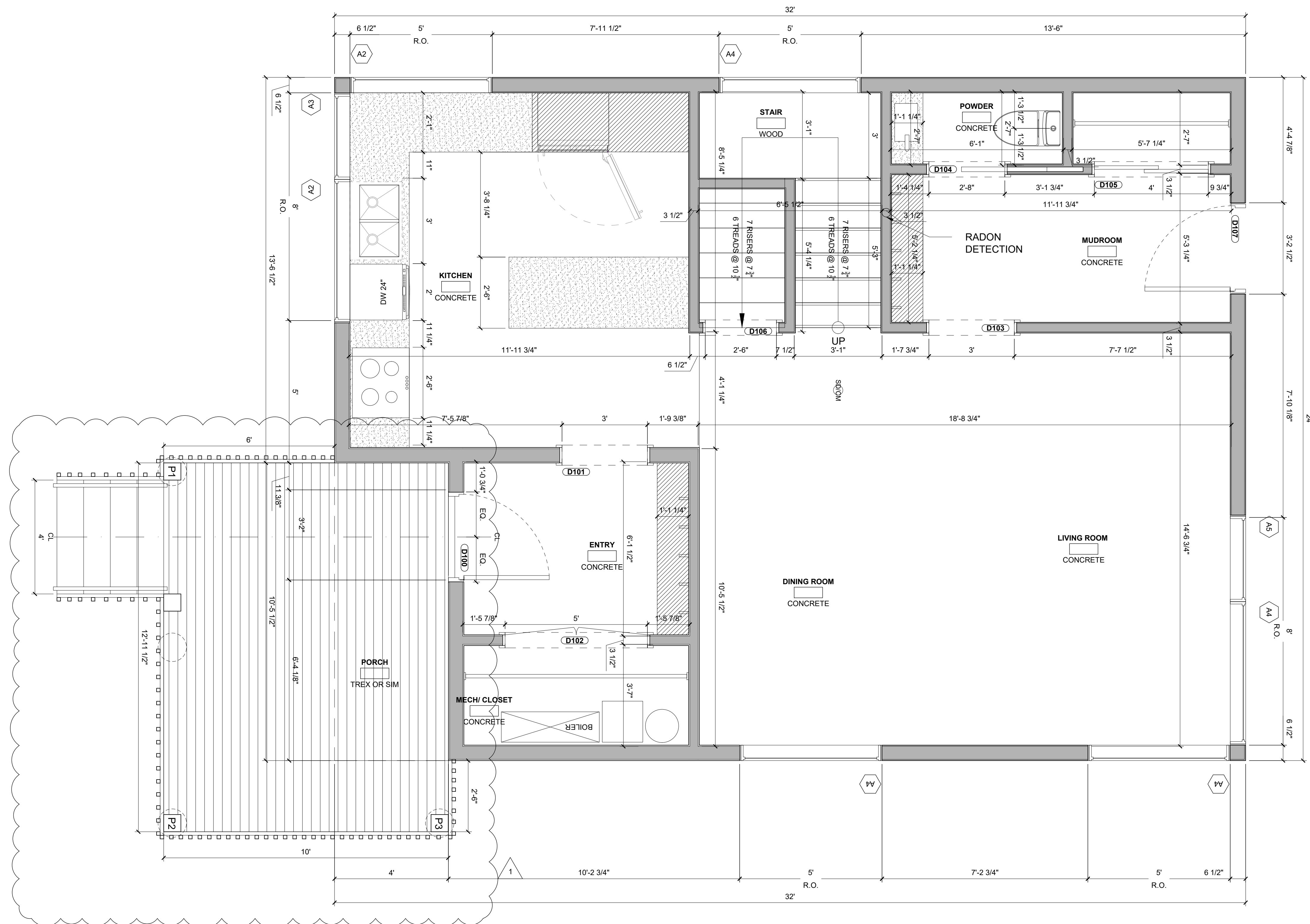
PROJECT NO.

SHEET TITLE

FLOOR PLAN

SHEET NO.

A1.3



1 H5 - FLOOR PLAN MAIN FLOOR
 1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

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PACKAGE	ISSUE DATE
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DATE

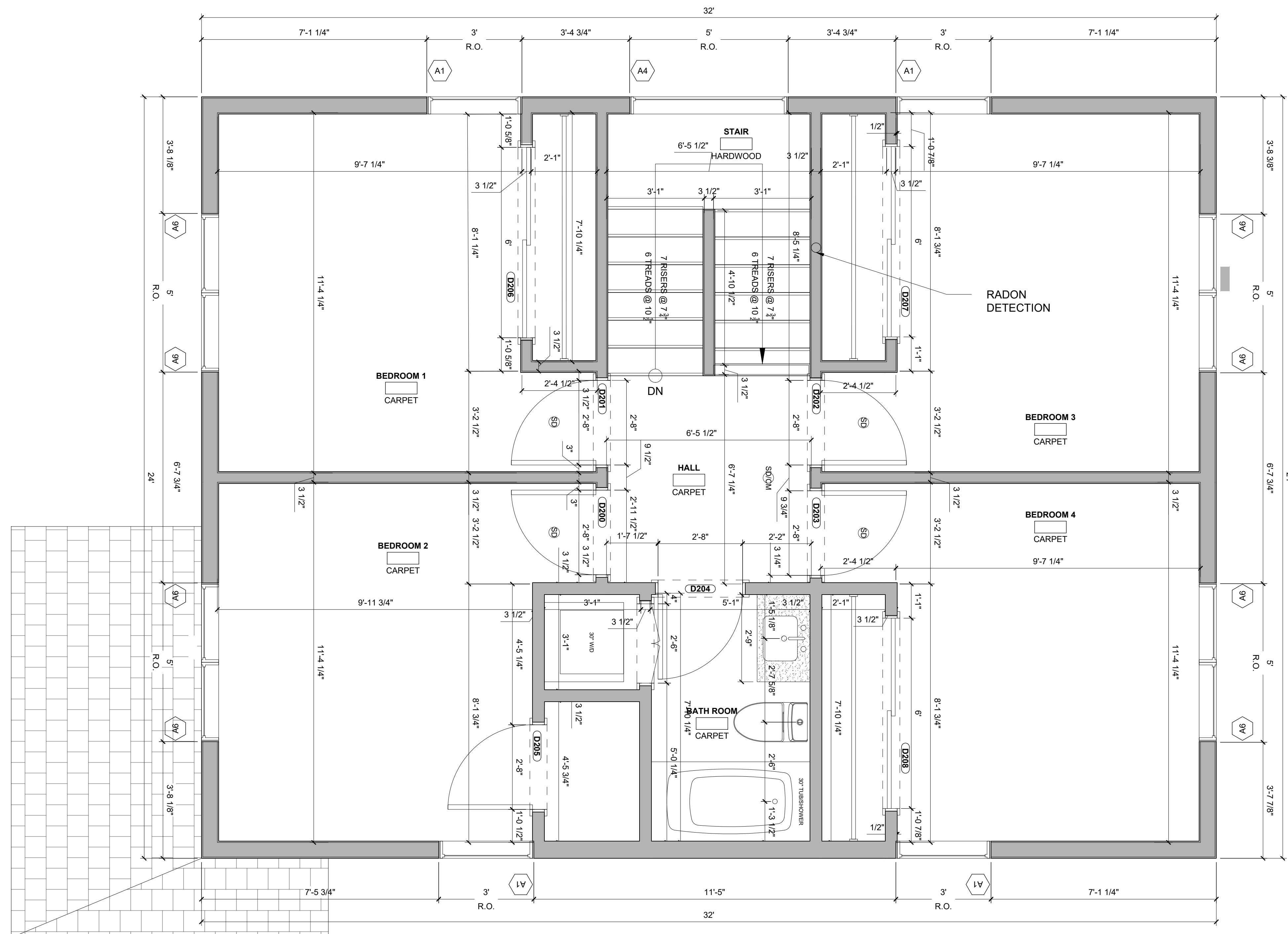
PROJECT NO.

SHEET TITLE

FLOOR PLAN

SHEET NO.

A1.4



1 H5 - FLOOR PLAN 2ND FLOOR
 1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
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 DULUTH, MN 55804
 dfreedman@1roofhousing.org

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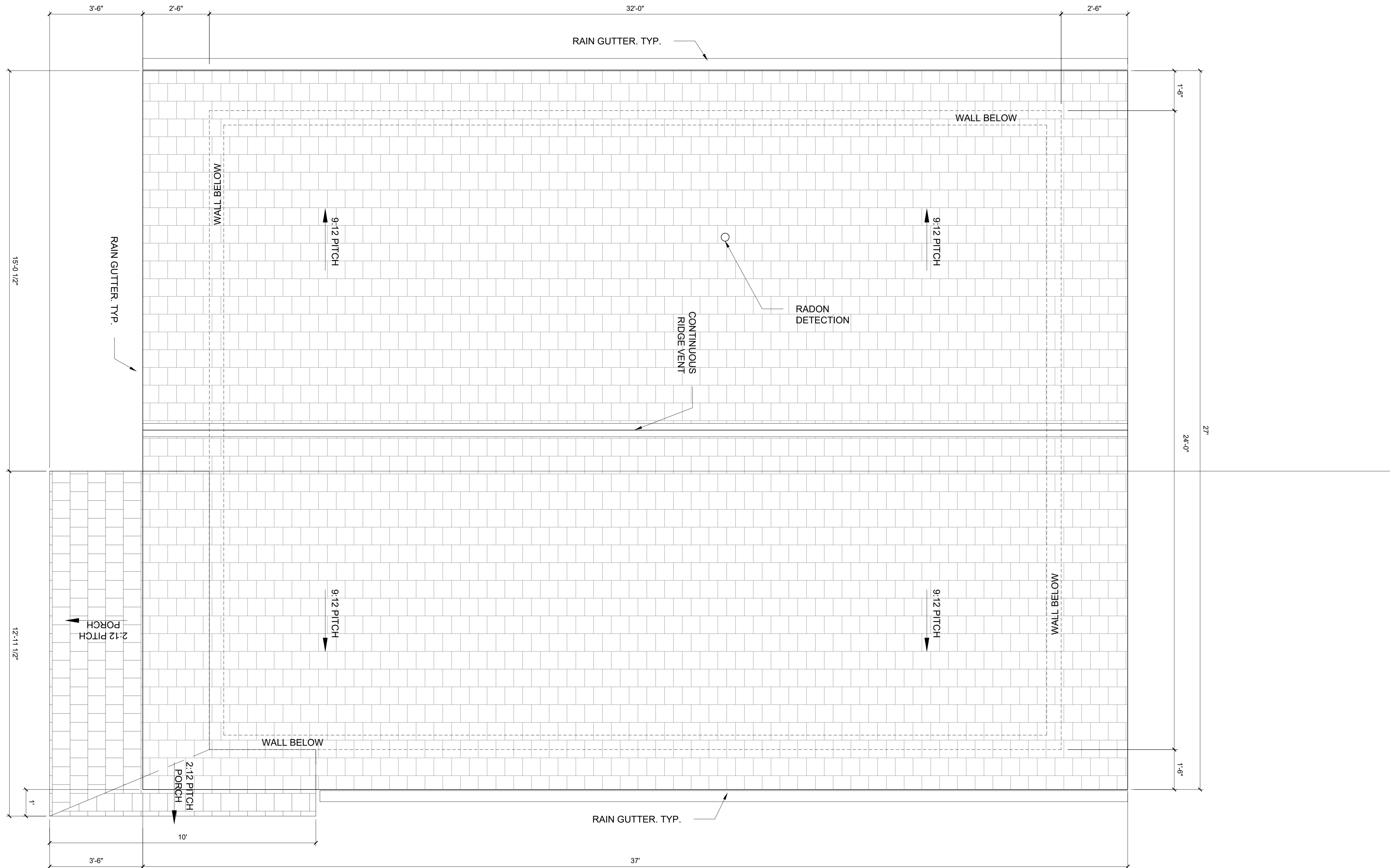
**NOT FOR
 CONSTRUCTION**

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

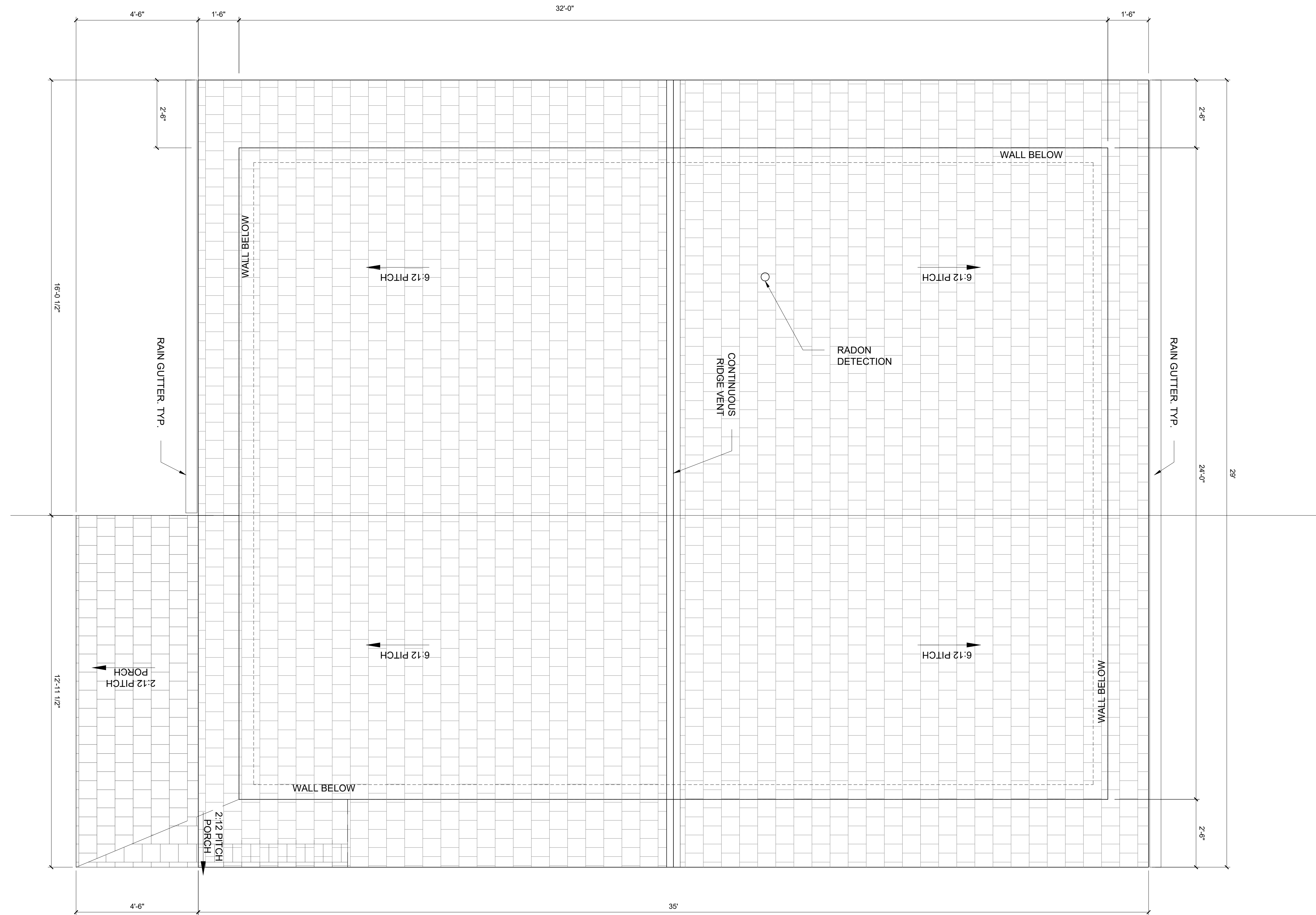
DATE
PROJECT NO.

SHEET TITLE
ROOF PLAN

SHEET NO.
A1.5



1 H5 - ROOF PLAN #1 - LONG RIDGE
 1/2" = 1'-0"



PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT

ONEROOF COMMUNITY HOUSING

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 DULUTH, MN 55804
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ARCHITECT

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 DULUTH, MINNESOTA 55806

NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
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DATE

PROJECT NO.

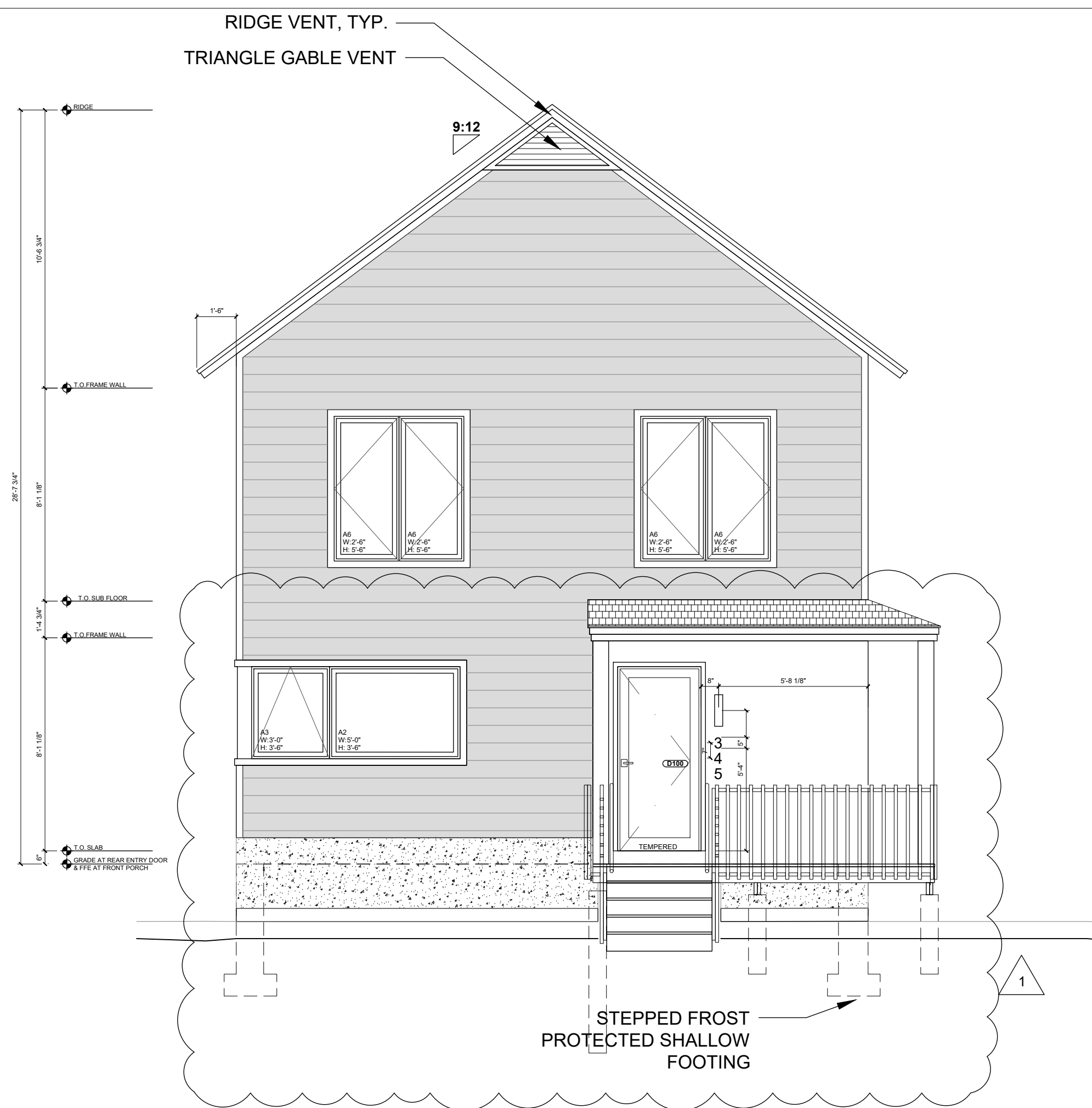
SHEET TITLE

ROOF PLAN

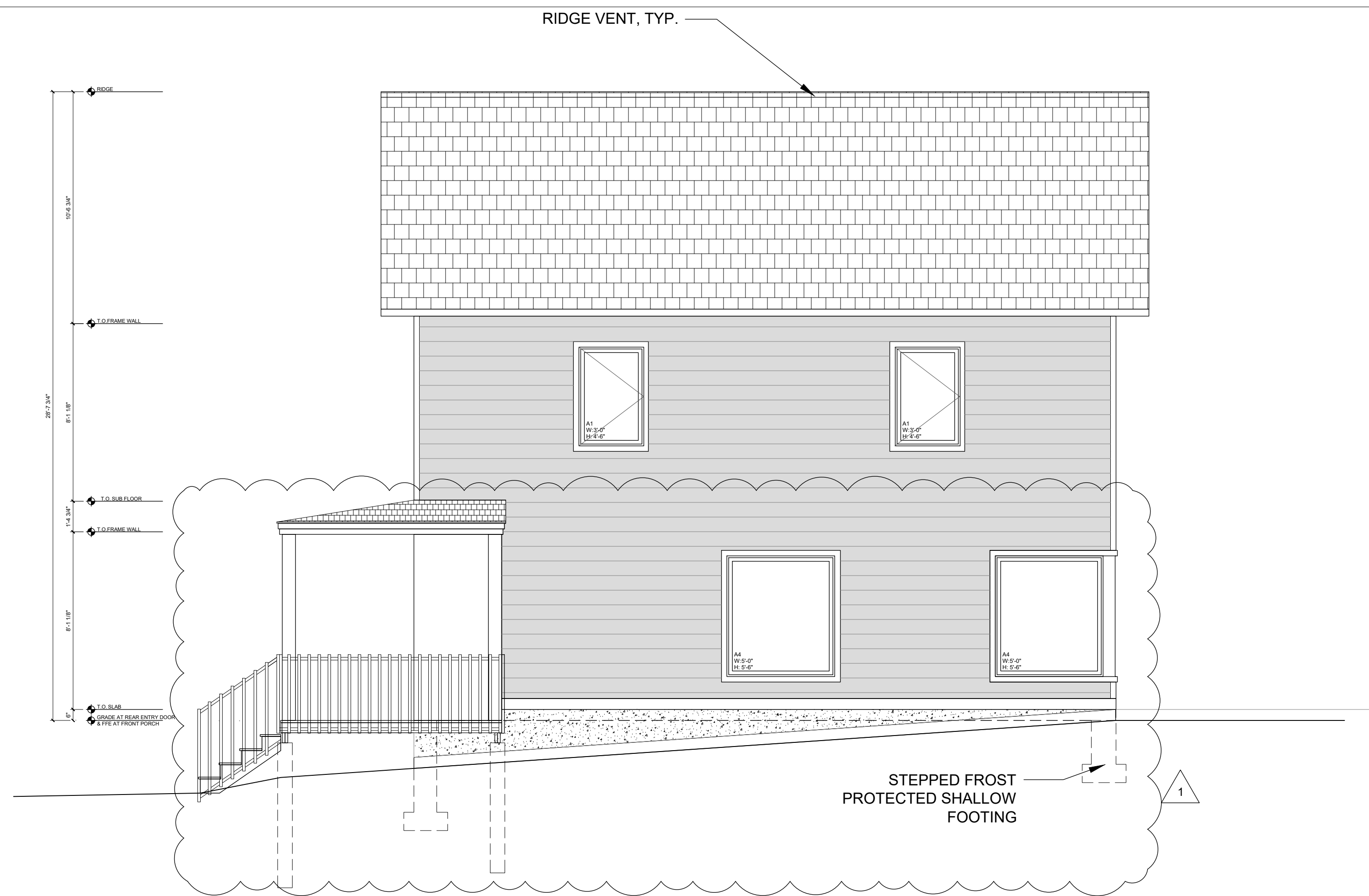
SHEET NO.

A1.6

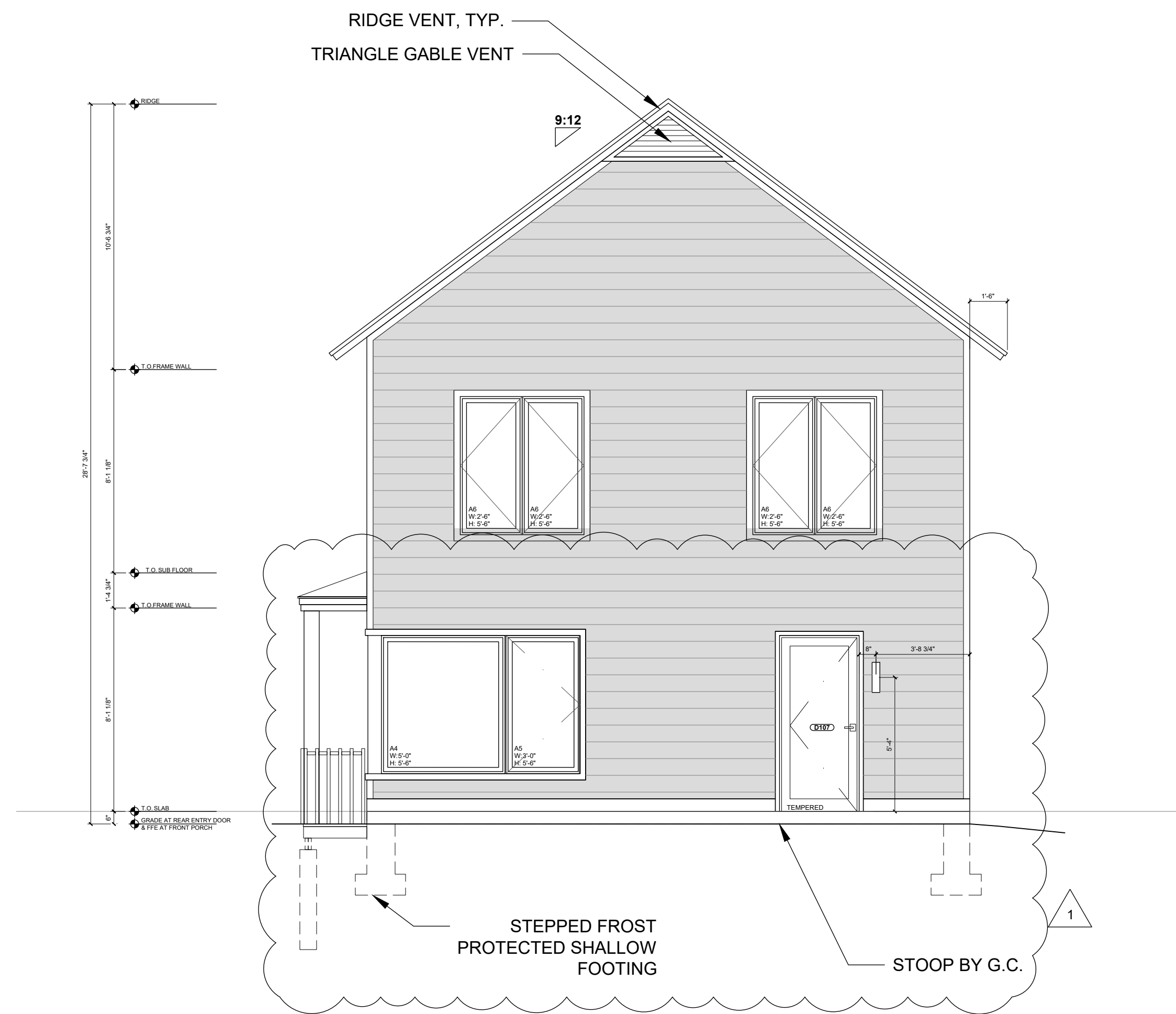
1 H5 - ROOF PLAN #2 - SHORT RIDGE
 1/2" = 1'-0"



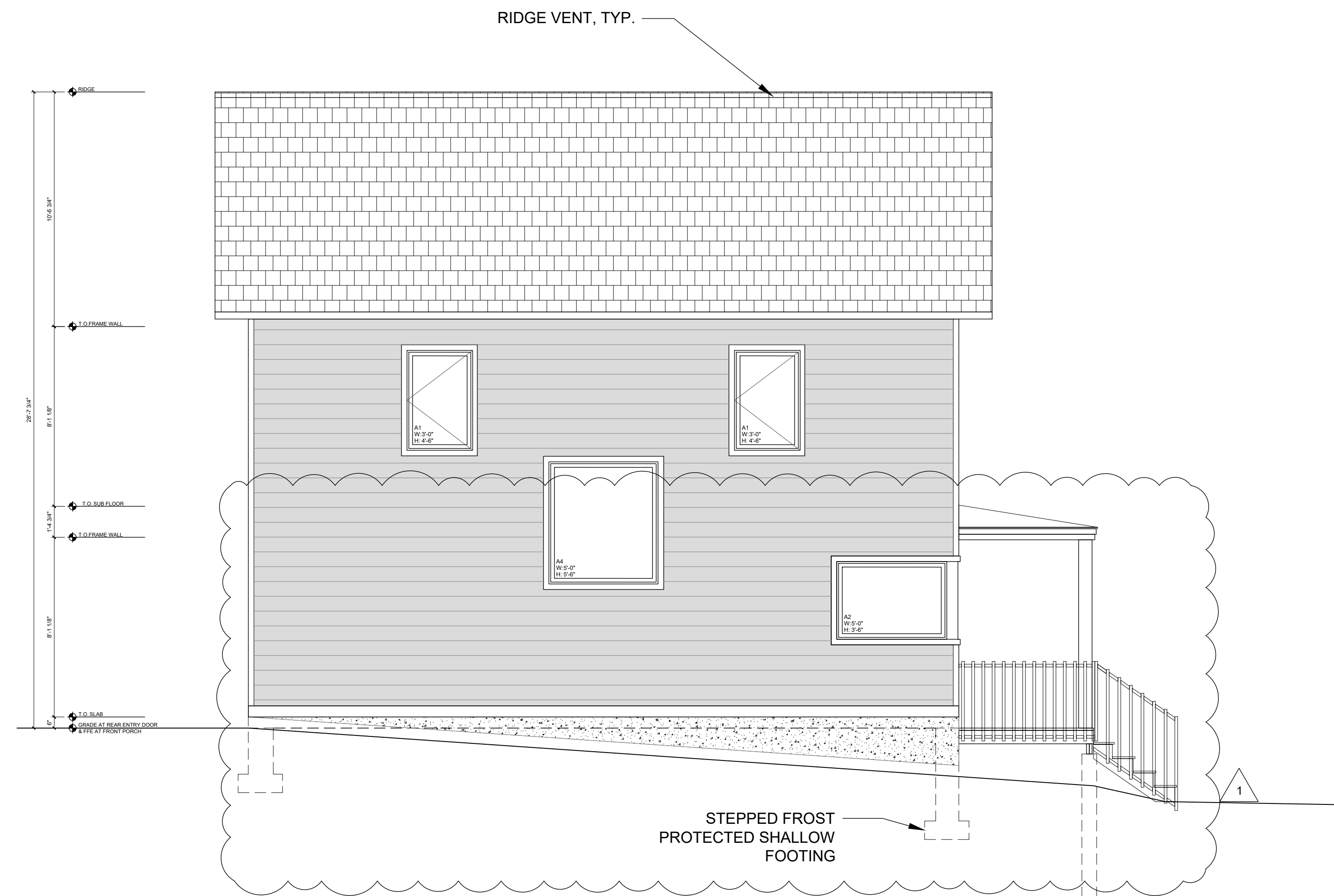
1 FRONT ELEVATION - FRONT GABLE
1/4"=1'-0"



2 RIGHT ELEVATION - FRONT GABLE
1/4"=1'-0"



3 BACK ELEVATION - FRONT GABLE
1/4"=1'-0"



4 LEFT ELEVATION - FRONT GABLE
1/4"=1'-0"

PROJECT
HARBOR HIGHLANDS
HARBOR HIGHLANDS DRIVE
DULUTH, MN 55805

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PACKAGE	ISSUE DATE
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PRICING SET	06.03.2026

DATE
PROJECT NO.

SHEET TITLE
ELEVATIONS - FRONT GABLE

SHEET NO.
A3.0

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT

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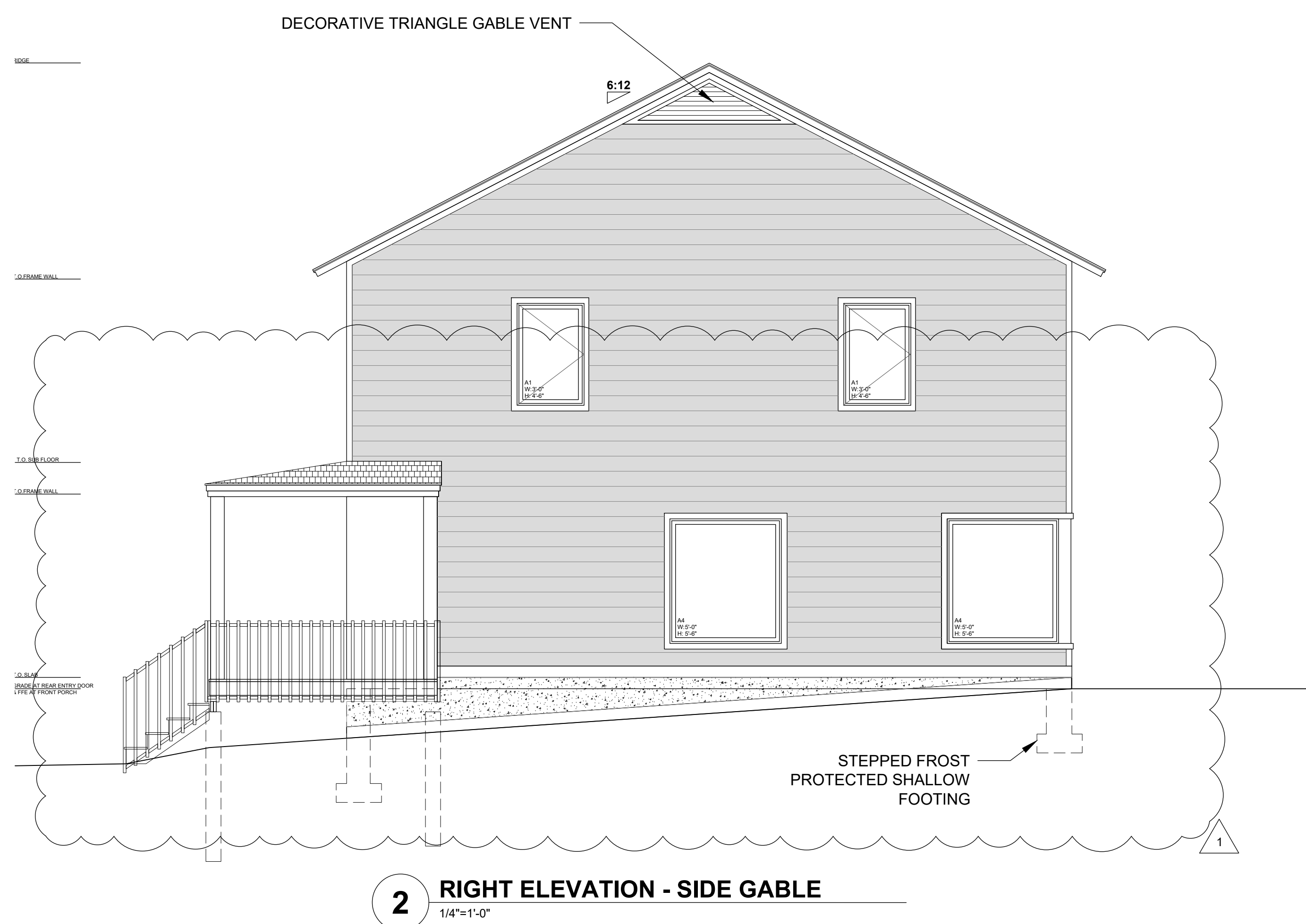
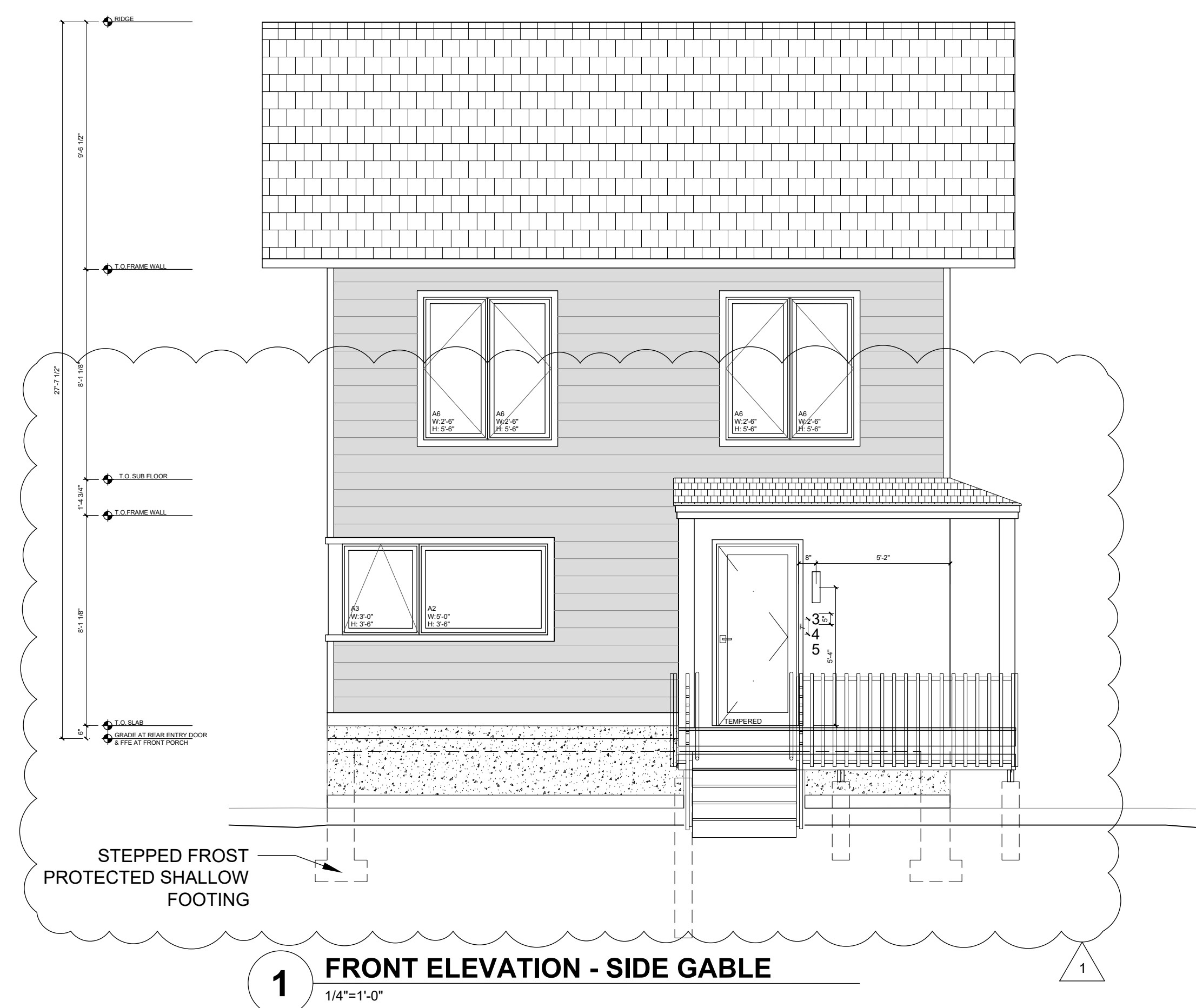
DATE

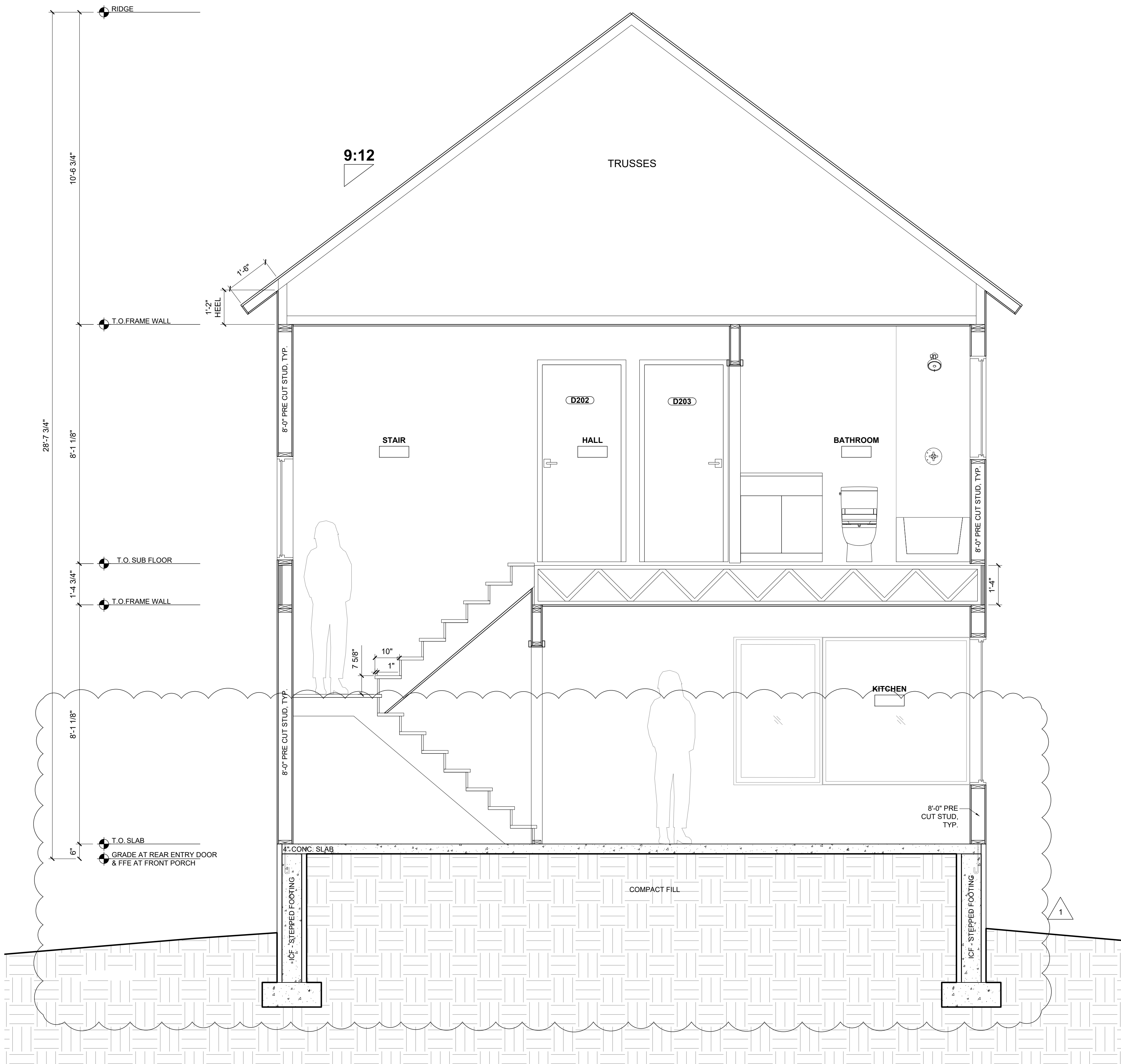
PROJECT NO.

SHEET TITLE
ELEVATIONS - SIDE GABLE

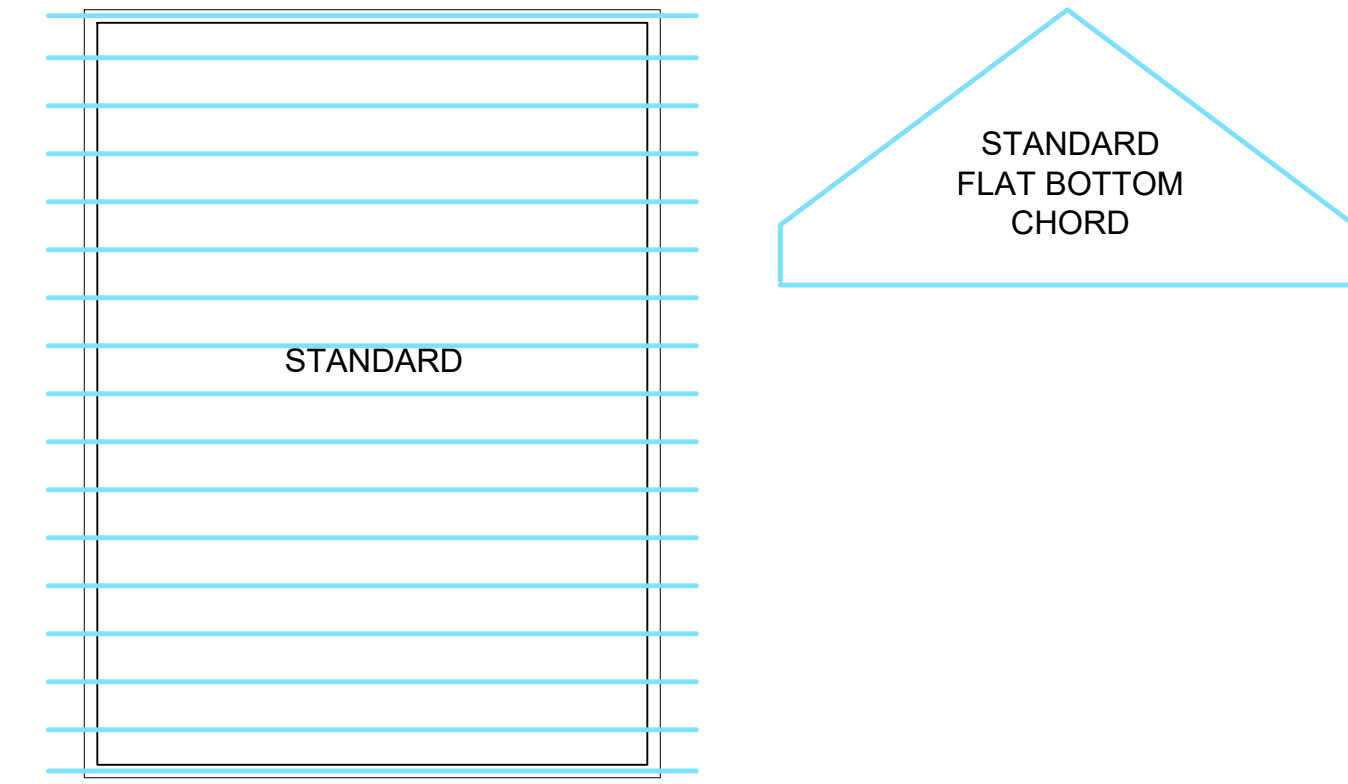
SHEET NO.

A3.1





NOTE:
ROOF FRAMING DIAGRAMMING IS FOR ILLUSTRATIVE PURPOSES ONLY



2 TRUSS TYPE DIAGRAM
1/8" = 1'-0"

1 H5- FRONT GABLE - SECTION
1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
DULUTH, MN 55805

CLIENT

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DATE

PROJECT NO.

SHEET TITLE

**H5 FRONT GABLE
HOUSE SECTIONS**

SHEET NO.

A4.0

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
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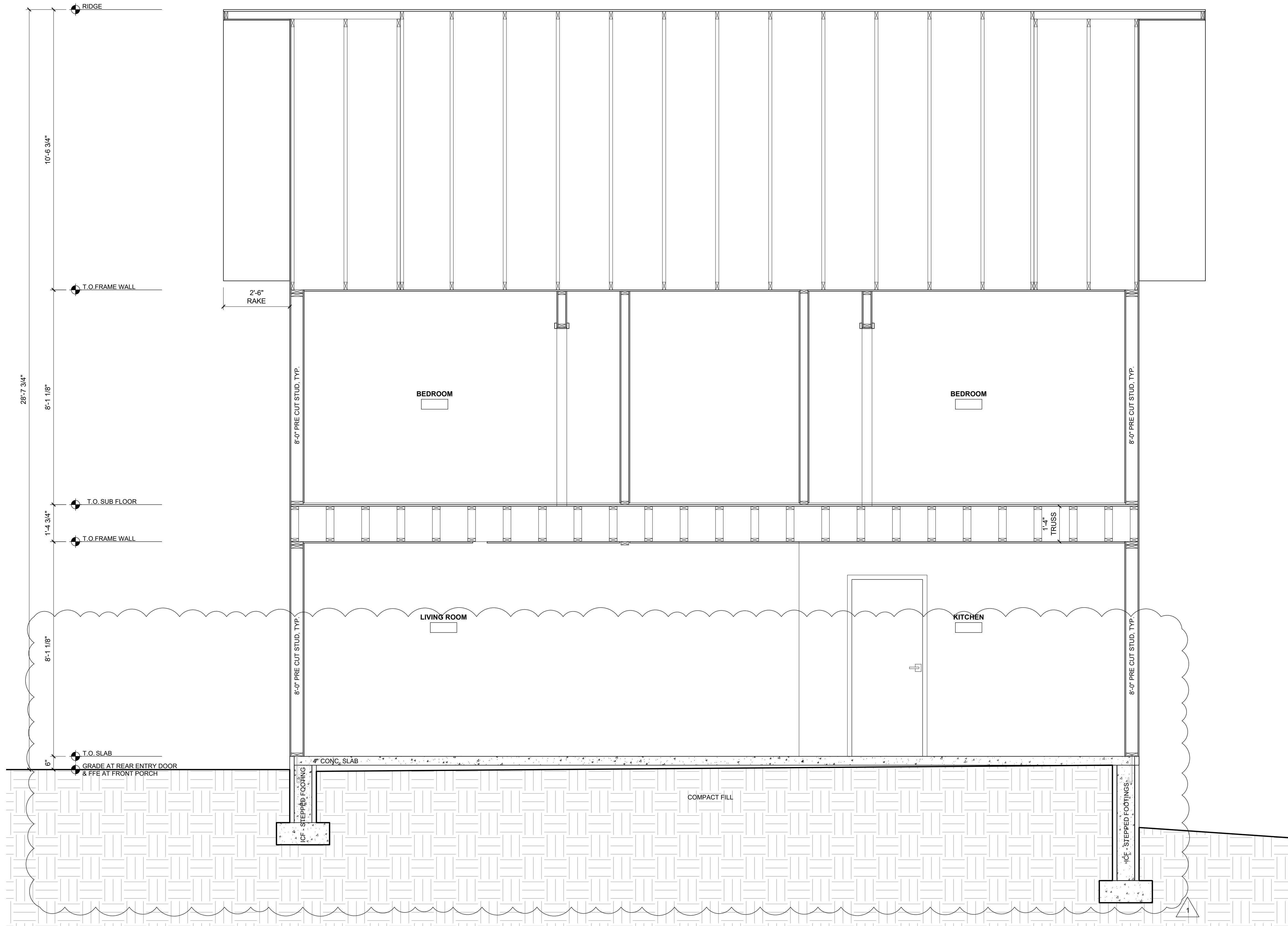
NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

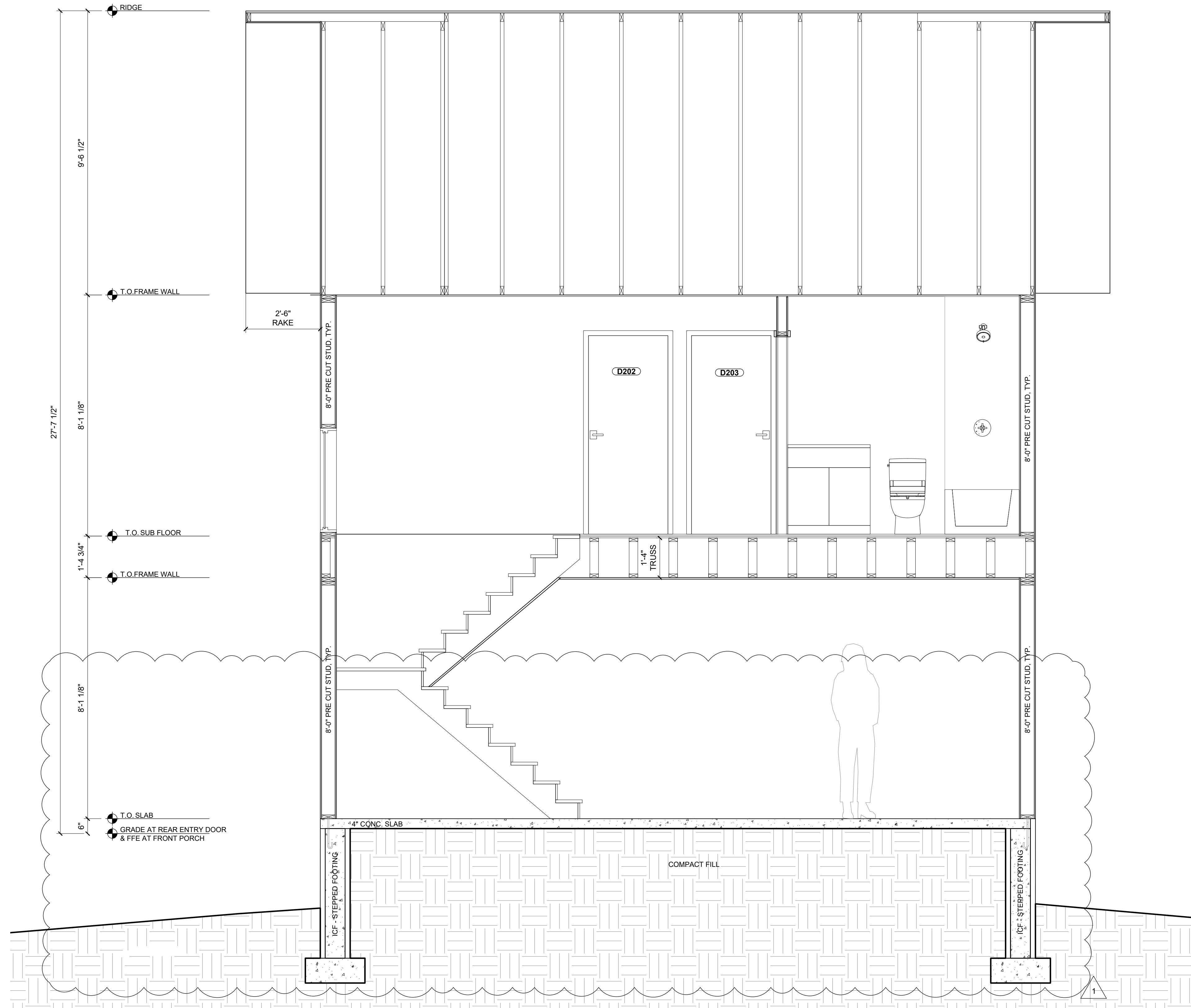
DATE
PROJECT NO.

SHEET TITLE
H4 SIDE GABLE HOUSE SECTIONS

SHEET NO.
A4.1



1 H5- FRONT GABLE - SECTION
 1/2" = 1'-0"



1 H5- SIDE GABLE - SECTION
1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
 12 E. 4TH STREET
 DULUTH, MN 55804
 dfreedman@1roofhousing.org

ARCHITECT
CITYDESKSTUDIO, INC.
 550 VANDALIA STREET
 SAINT PAUL, MN 55114
 651.644.1106 OFFICE
 www.citydeskstudio.com
 Contact: BEN AWES, AIA

License No.
 46695
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DRAWN BY
BENJAMIN OLSEN

CIVIL ENGINEER
 NORTHLAND CONSULTING ENGINEERS
 C/O DAVE BOLF
 102 SOUTH 21ST AVE W. #1
 DULUTH, MINNESOTA 55806

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SHEET TITLE
H5 FRONT GABLE HOUSE SECTIONS

SHEET NO.
A4.2

PROJECT
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 DULUTH, MN 55805

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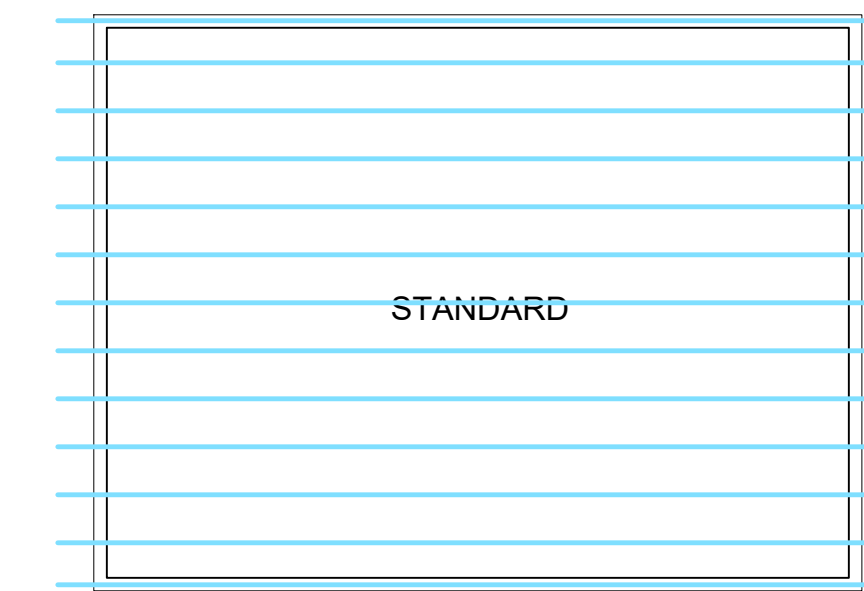
PROJECT NO.

SHEET TITLE
H5 SIDE GABLE HOUSE SECTIONS

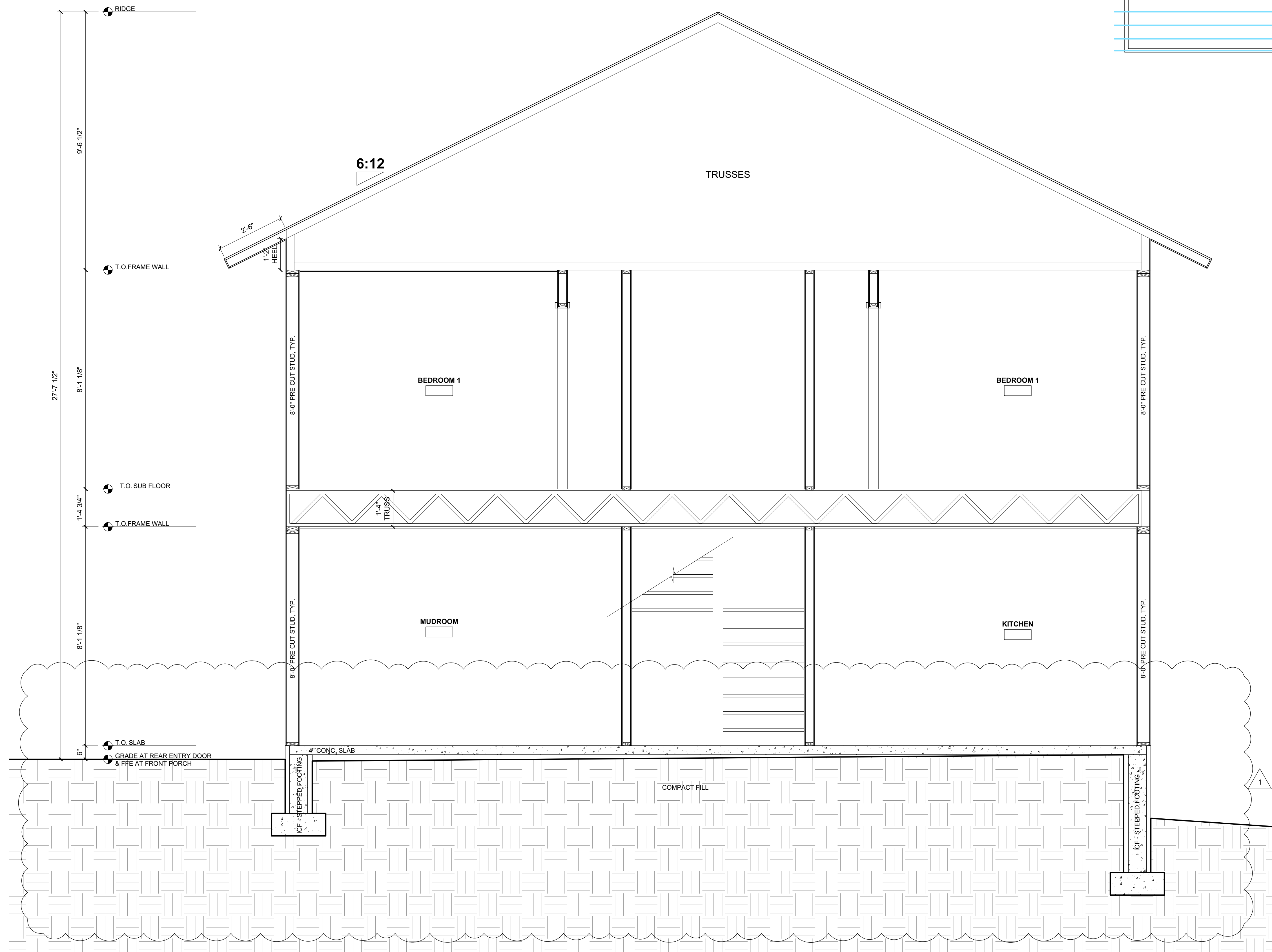
SHEET NO.

A4.3

NOTE:
 ROOF FRAMING DIAGRAMMING IS FOR ILLUSTRATIVE PURPOSES ONLY



2 TRUSS TYPE DIAGRAM
 1/8" = 1'-0"



1 H5- SIDE GABLE - SECTION
 1/2" = 1'-0"

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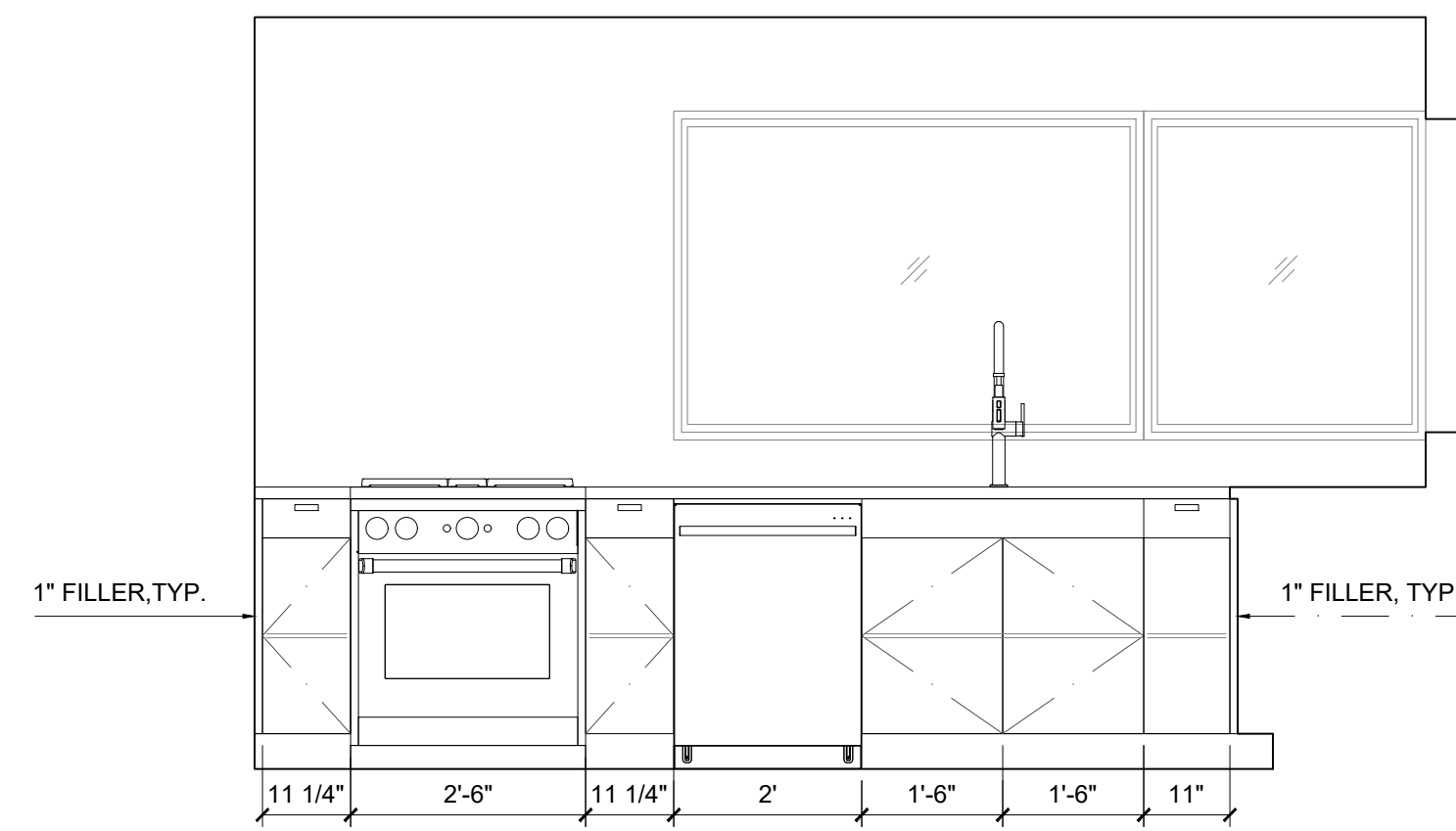
PROJECT NO.

SHEET TITLE

H5 INTERIOR ELEVATIONS

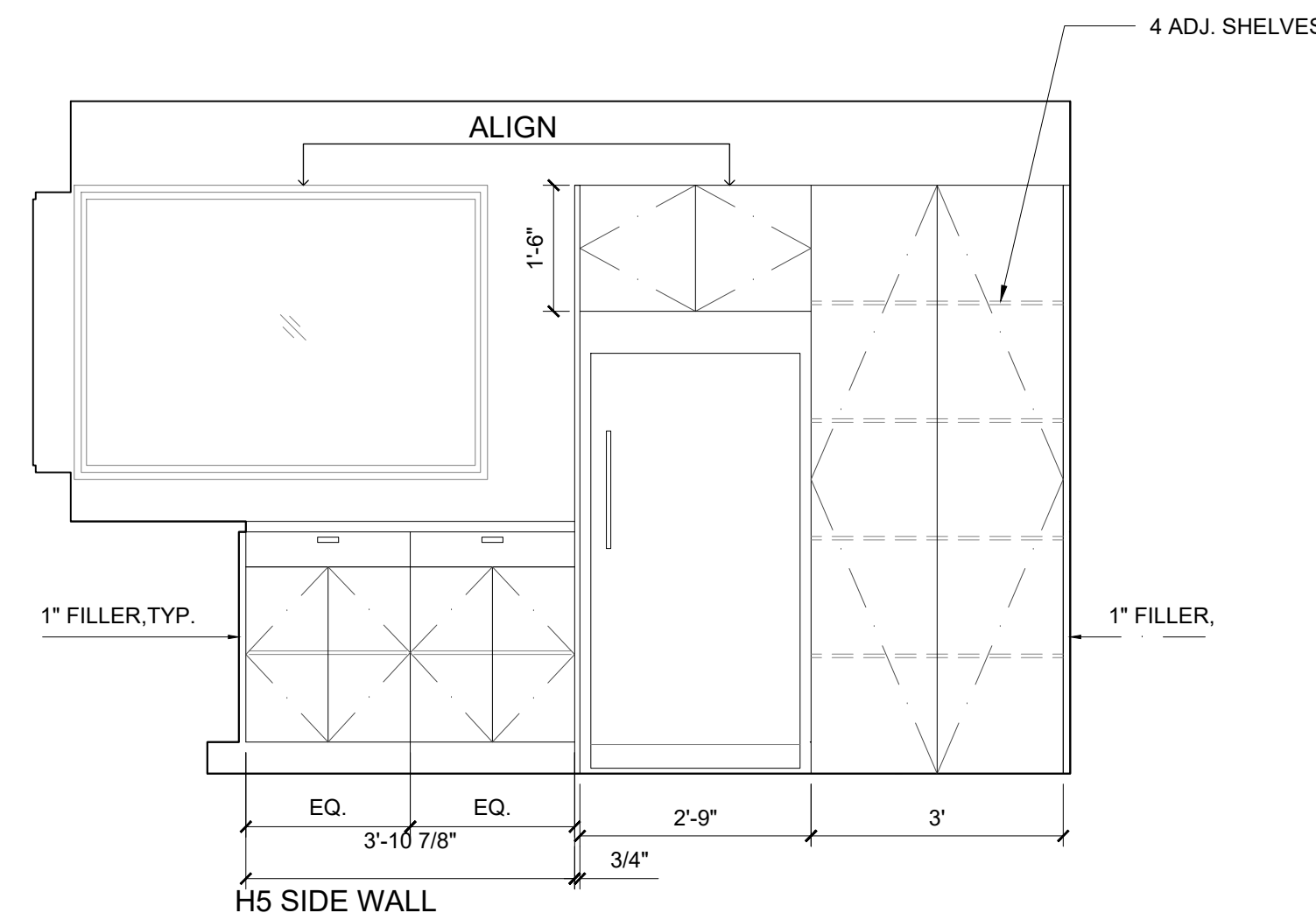
SHEET NO.

A5.0



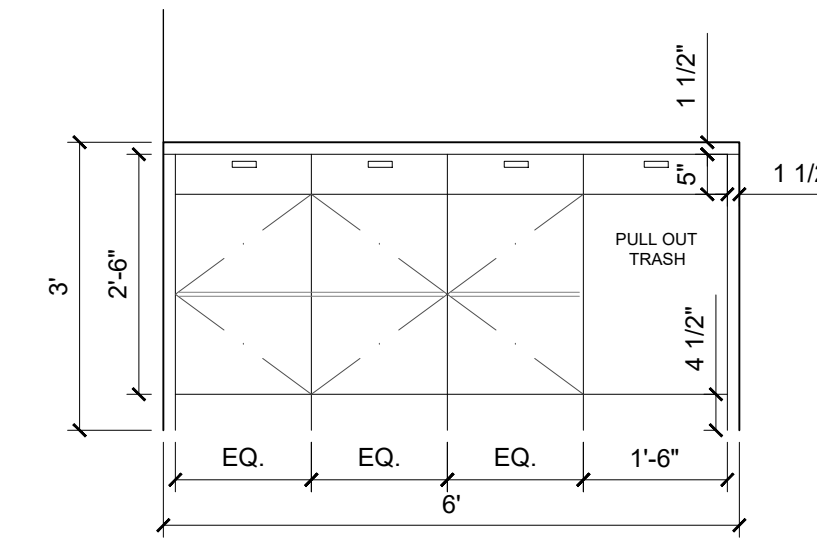
H5 END WALL

1 H5 KITCHEN ELEVATION
 1/2" = 1'-0"

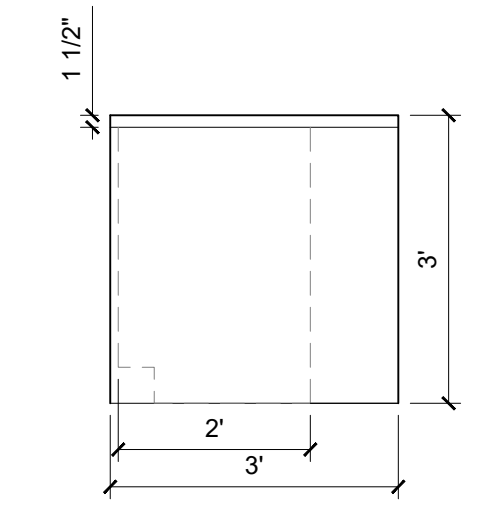


H5 SIDE WALL

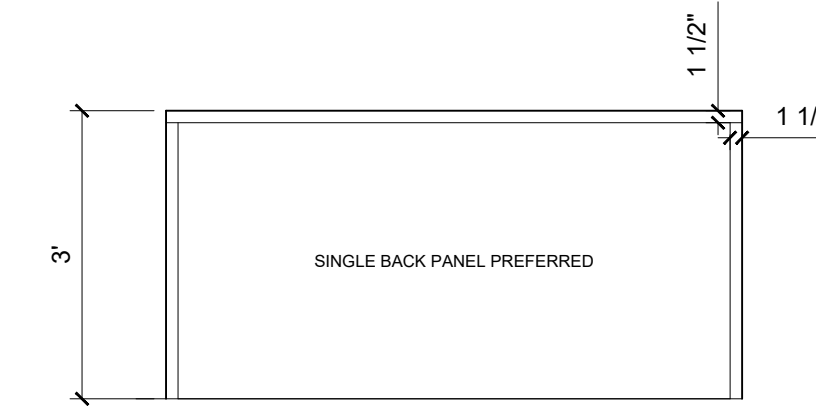
2 H5 KITCHEN ELEVATION
 1/2" = 1'-0"



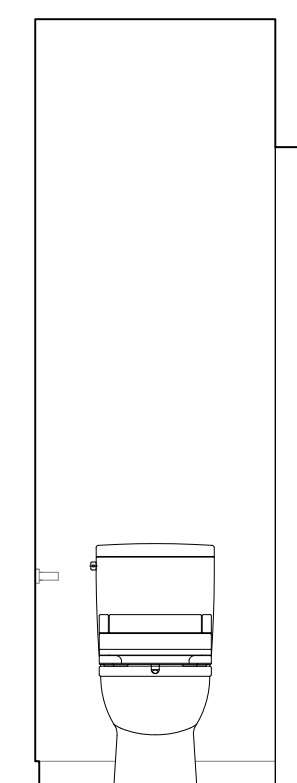
3 H5 KITCHEN ISLAND ELEV.
 1/2" = 1'-0"



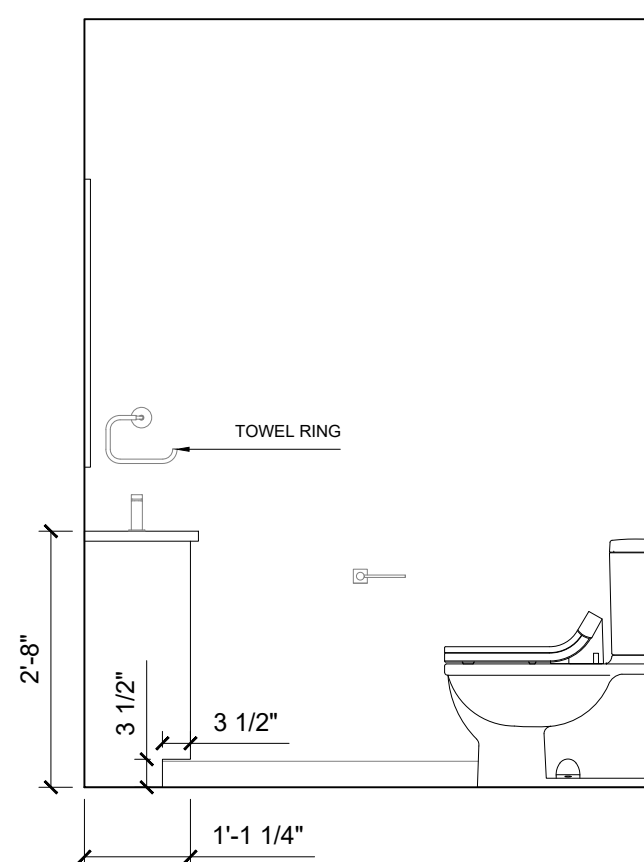
4 H5 KITCHEN ISLAND ELEV.
 1/2" = 1'-0"



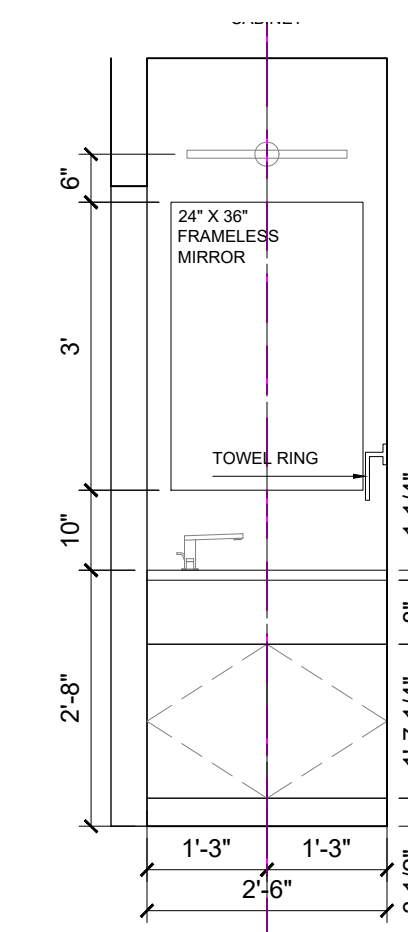
5 H5 KITCHEN ISLAND ELEV.
 1/2" = 1'-0"



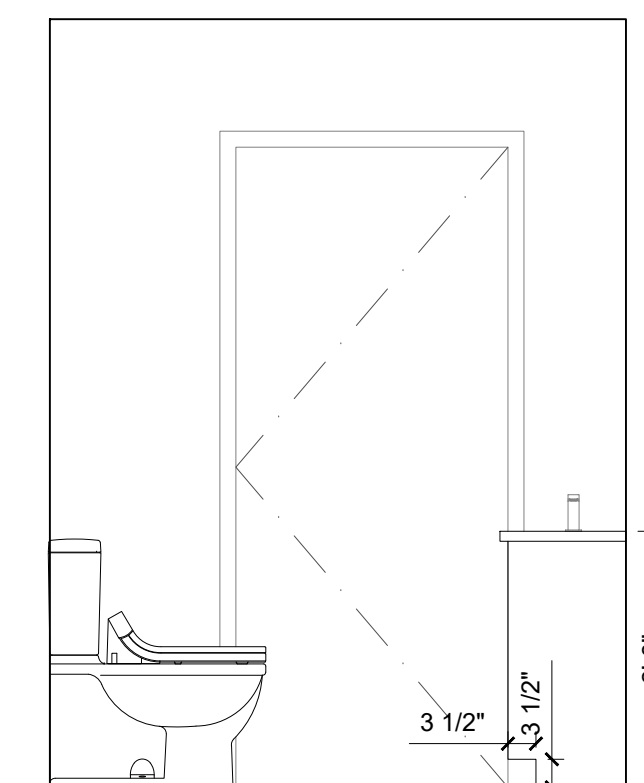
6 H5 POWDER ROOM
 1/2" = 1'-0"



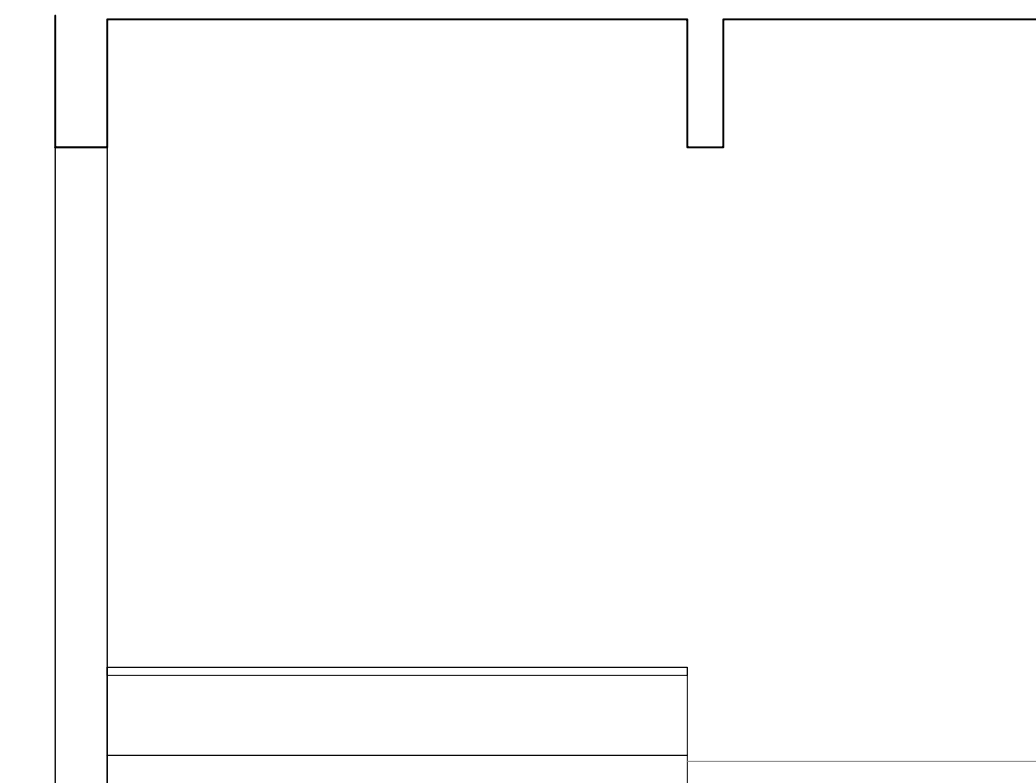
7 H5 POWDER ROOM
 1/2" = 1'-0"



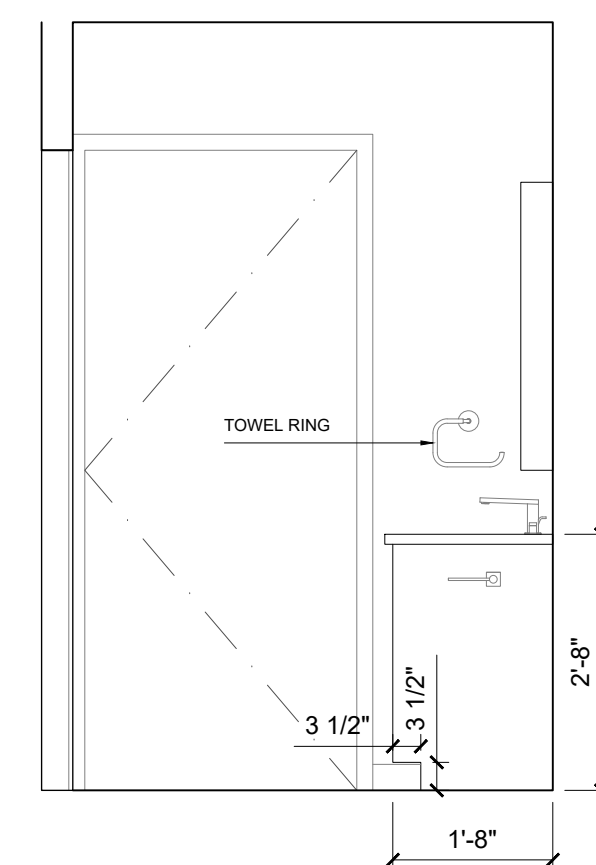
8 H5 POWDER ROOM
 1/2" = 1'-0"



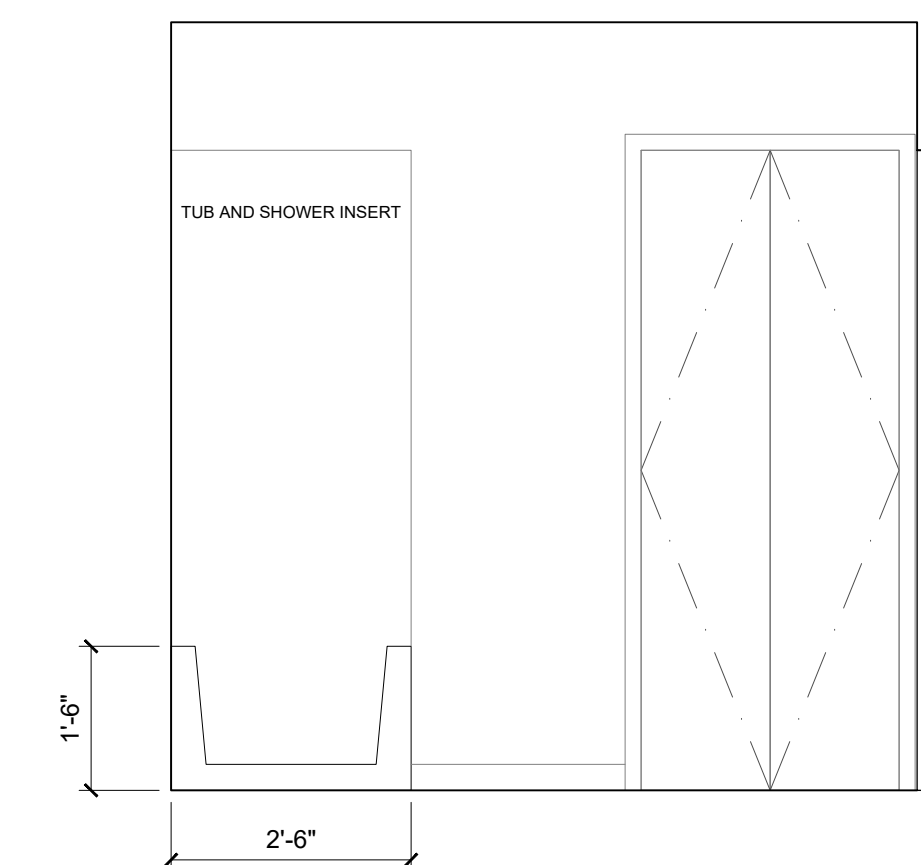
9 H5 POWDER ROOM
 1/2" = 1'-0"



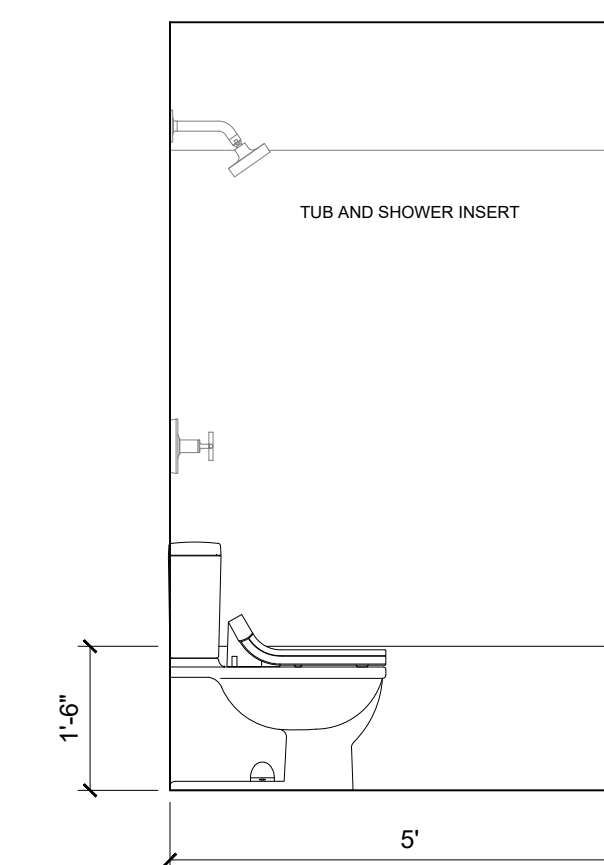
10 H5 ENTRY BENCH
 1/2" = 1'-0"



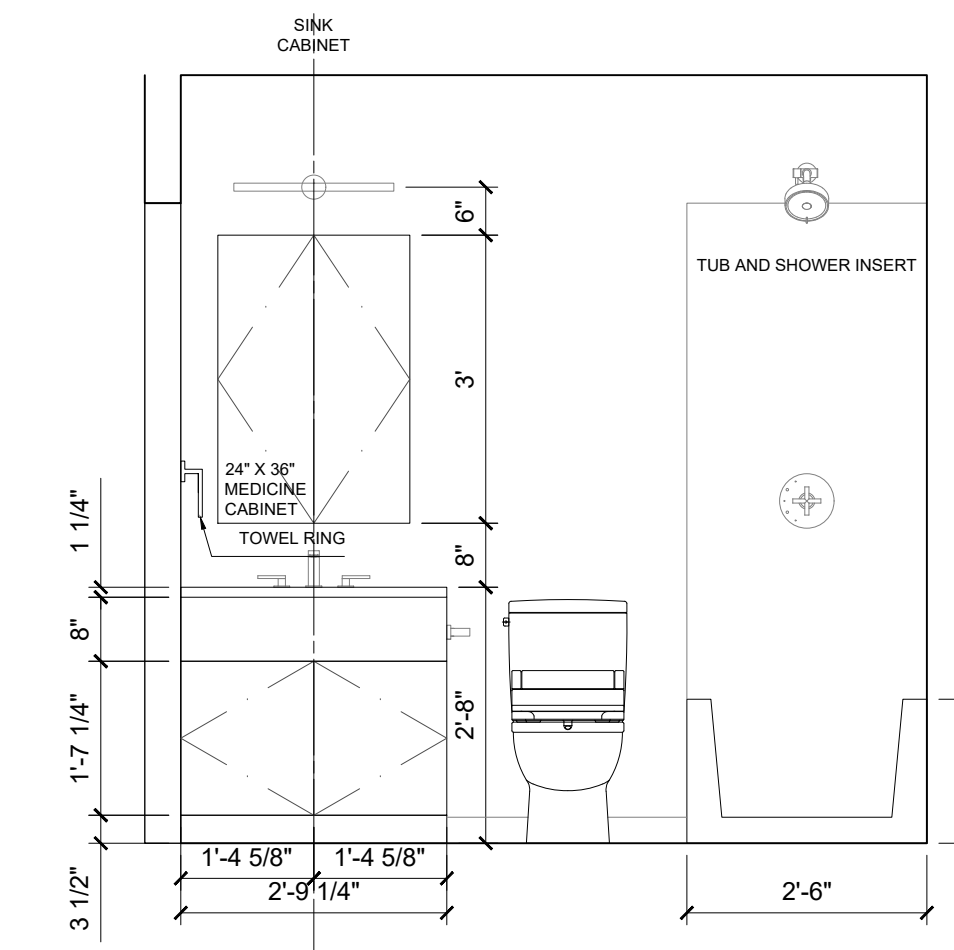
11 H5 BATH ROOM
 1/2" = 1'-0"



12 H5 BATH ROOM
 1/2" = 1'-0"



13 H5 BATH ROOM
 1/2" = 1'-0"



14 H5 BATH ROOM
 1/2" = 1'-0"

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SHEET TITLE

H5 - TYPICAL SECTION DETAILS

SHEET NO.

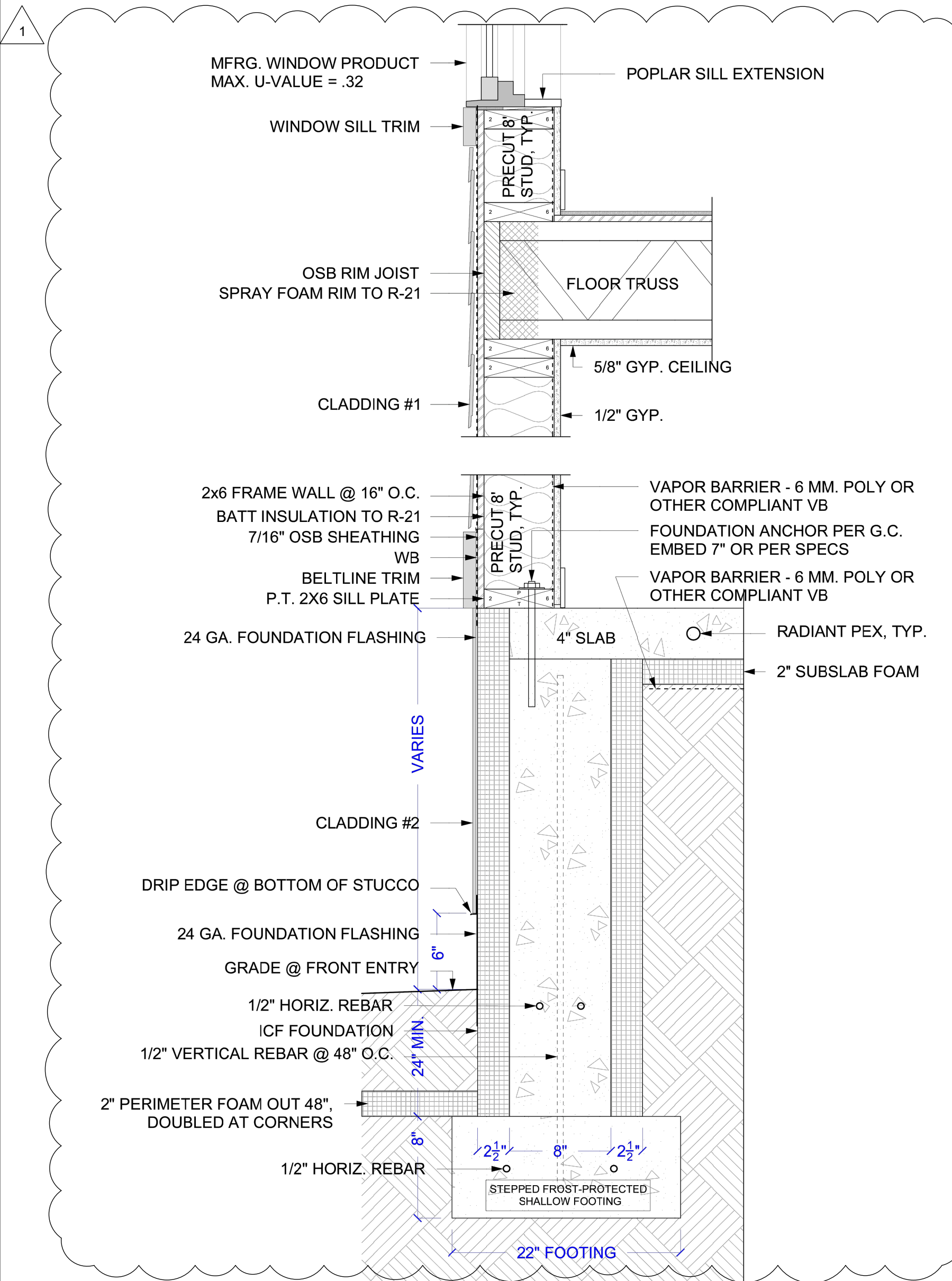
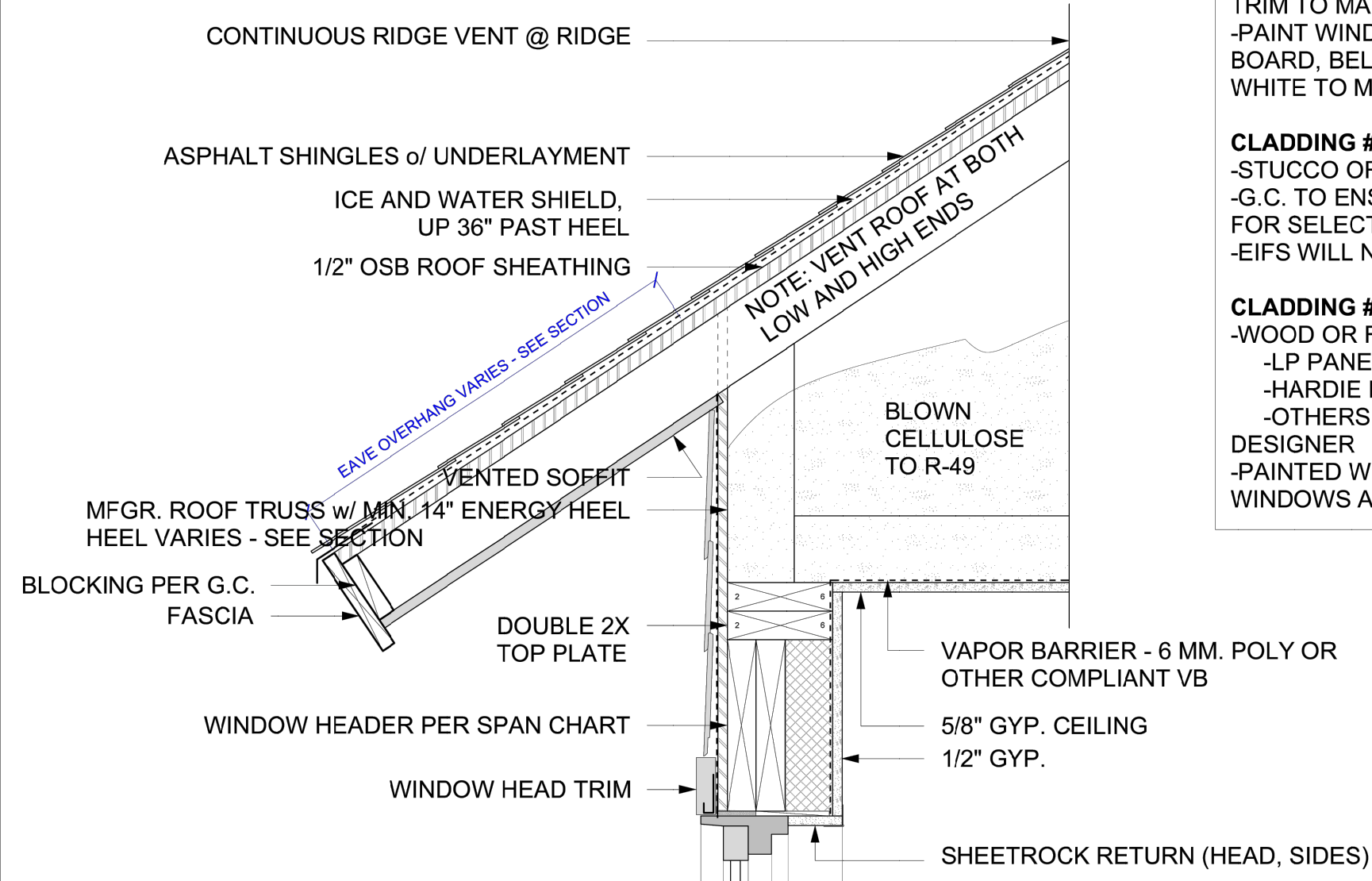
A6.0

CLADDING SCHEDULE:

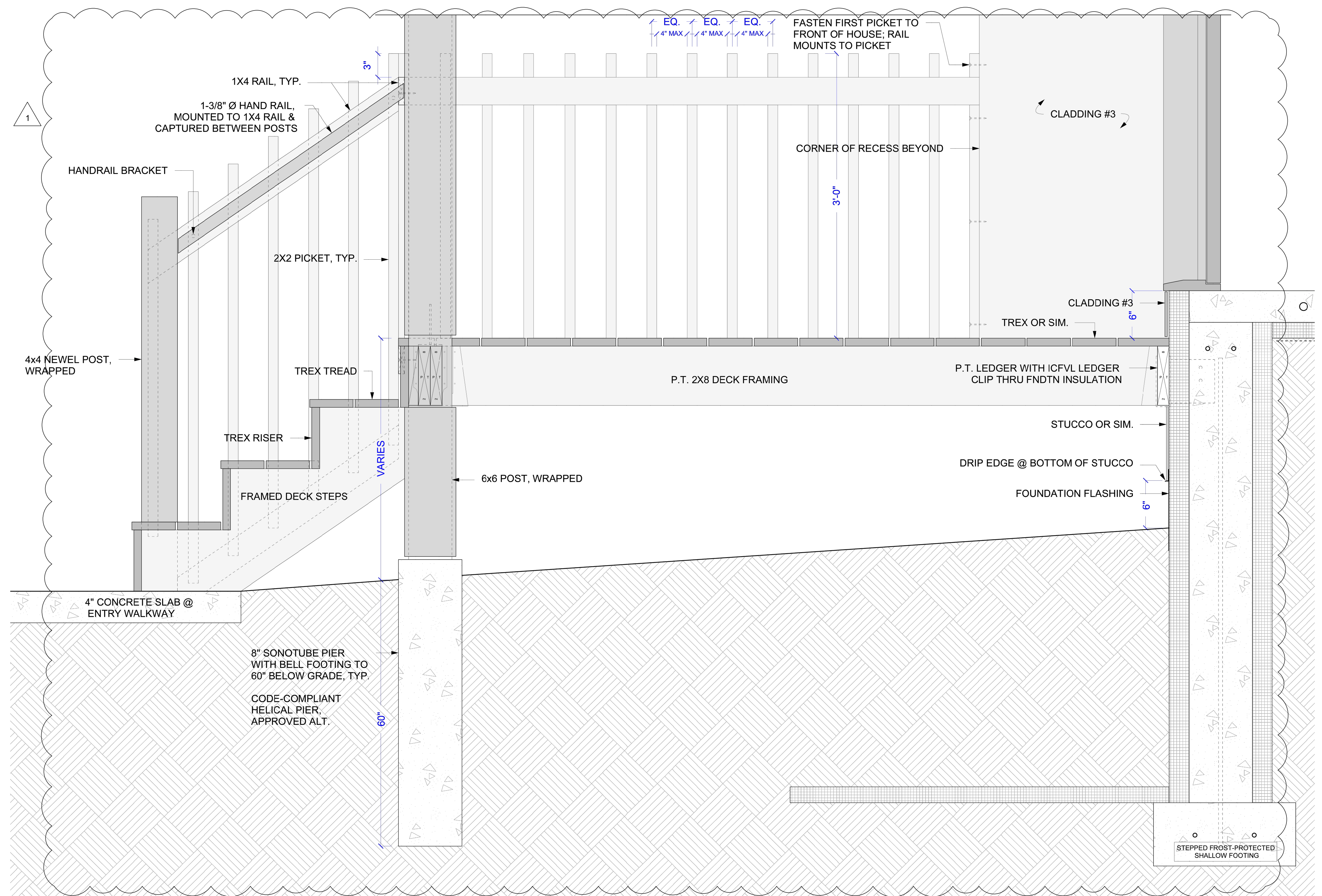
CLADDING #1:
-LP SMARTSIDE LAP SIDING
-EACH HOUSE WILL BE ASSIGNED A LAP SIDING PRODUCT EITHER 6", 8", OR 10"
-FACTORY PRIMED FINISH, SITE PAINTED
-PAINT CORNER TRIM & FASCIA TRIM TO MATCH CLADDING #1
-PAINT WINDOW TRIM, FASCIA BOARD, BELTLINE TRIM, & SOFFIT WHITE TO MATCH WINDOWS

CLADDING #2:
-STUCCO OR SIMILAR
-G.C. TO ENSURE PROPER PREP FOR SELECTED PRODUCT
-EIFS WILL NOT BE ACCEPTED

CLADDING #3:
-WOOD OR FIBER CEMENT PANEL
-LP PANEL - SMOOTH
-HARDIE PANEL - SMOOTH
-OTHERS AS APPROVED BY DESIGNER
-PAINTED WHITE TO MATCH WINDOWS AND CLADDING #1 TRIMS



1 H5 - TYPICAL WALL ASSEMBLY
1-1/2" = 1'-0"



2 H5 - TYPICAL WALL ASSEMBLY
1-1/2" = 1'-0"