

HARBOR HIGHLANDS - HOUSE TYPE H4

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT

ONEROOF COMMUNITY HOUSING
 C.O. DEBBIE FREEDMAN
 12 E 4TH STREET
 DULUTH, MN 55804
 dfreedman@1roofhousing.org

ARCHITECT

CITYDESKSTUDIO, INC.
 550 VANDALIA STREET
 SAINT PAUL, MN 55114
 651.644.1106 OFFICE
 www.citydeskstudio.com

Contact: BEN AWES, AIA

License No.
 46695

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DRAWN BY
BENJAMIN OLSEN

CIVIL ENGINEER

NORTHLAND CONSULTING ENGINEERS
 C/O DAVE BOLF
 102 SOUTH 21ST AVE W. #1
 DULUTH, MINNESOTA 55806

NOT FOR CONSTRUCTION

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE

PROJECT NO.

SHEET TITLE
TITLE SHEET AND DRAWING INDEX

SHEET NO.

A0.0

DRAWING INDEX:

GENERAL		
A0.0	TITLE SHEET AND DRAWING INDEX	NO SCALE
A0.1	GENERAL NOTES	NO SCALE

SURVEY		
SURVEY 1	EXISTING CONDITIONS	SEE DRAWINGS
SURVEY 2	FINAL PLAT	SEE DRAWINGS

CIVIL ENGINEERING
 CIVIL DRAWINGS ISSUED SEPARATELY

ARCHITECTURAL

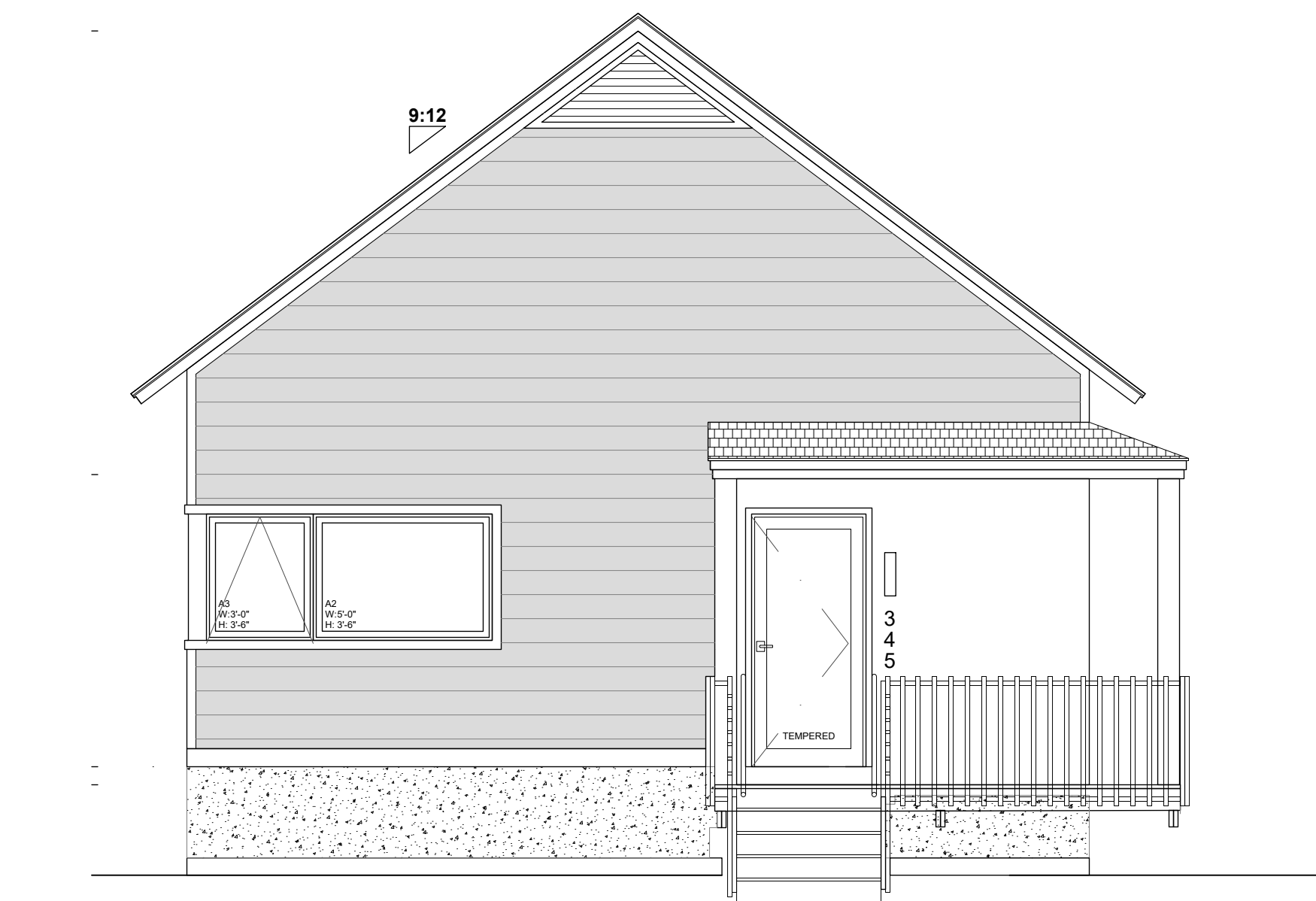
PLANS		
A1.0-W4	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.0-W5	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.0-W11	LOT-SCALE SITE PLANS	1/4" = 1'-0"
A1.1	NOT USED	1/4" = 1'-0"
A1.2	FOUNDATION PLAN	1/4" = 1'-0"
A1.3	FLOOR PLAN	1/4" = 1'-0"
A1.4	ROOF PLAN LONG RIDGE	1/4" = 1'-0"
A1.5	ROOF PLAN SHORT RIDGE	1/4" = 1'-0"

ELEVATIONS		
A3.0	EXTERIOR ELEVATIONS - FRONT GABLE	1/4" = 1'-0"
A3.1	EXTERIOR ELEVATIONS - SIDE GABLE	1/4" = 1'-0"

SECTIONS		
A4.0	BUILDING SECTION - FRONT GABLE CROSS	3/8" = 1'-0"
A4.1	BUILDING SECTION - FRONT GABLE LONG	3/8" = 1'-0"
A4.2	BUILDING SECTION - SIDE GABLE CROSS	3/8" = 1'-0"
A4.3	BUILDING SECTION - SIDE GABLE LONG	3/8" = 1'-0"

INTERIOR ELEVATIONS		
A5.0	INTERIOR ELEVATIONS - KITCHENS	1/2" = 1'-0"

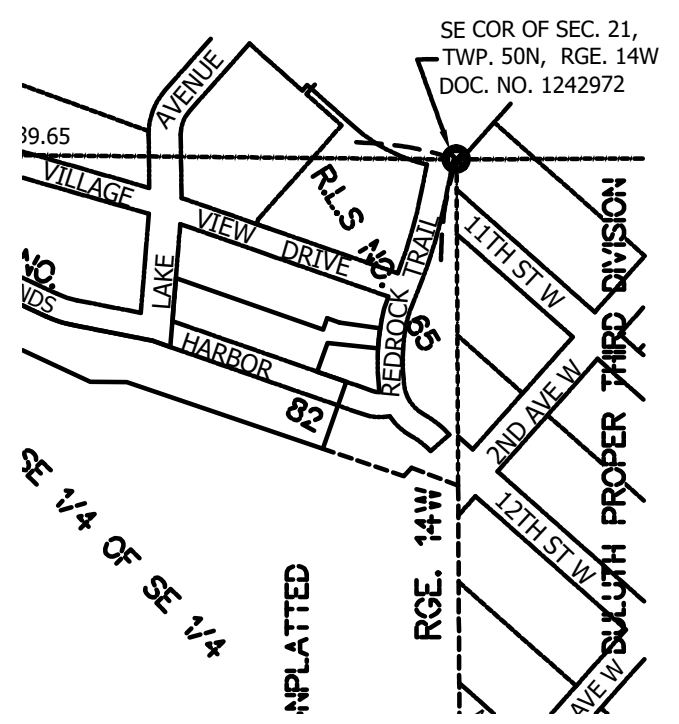
DETAILS		
A6.0	SECTION DETAILS	1 1/2" = 1'-0"



H3 FRONT GABLE - FRONT ELEVATION



H3 SIDE GABLE - FRONT ELEVATION



KNOW ALL PERSONS BY THESE PRESENTS: That The Housing and Redevelopment Authority of Duluth, Minnesota, owners of the following property:

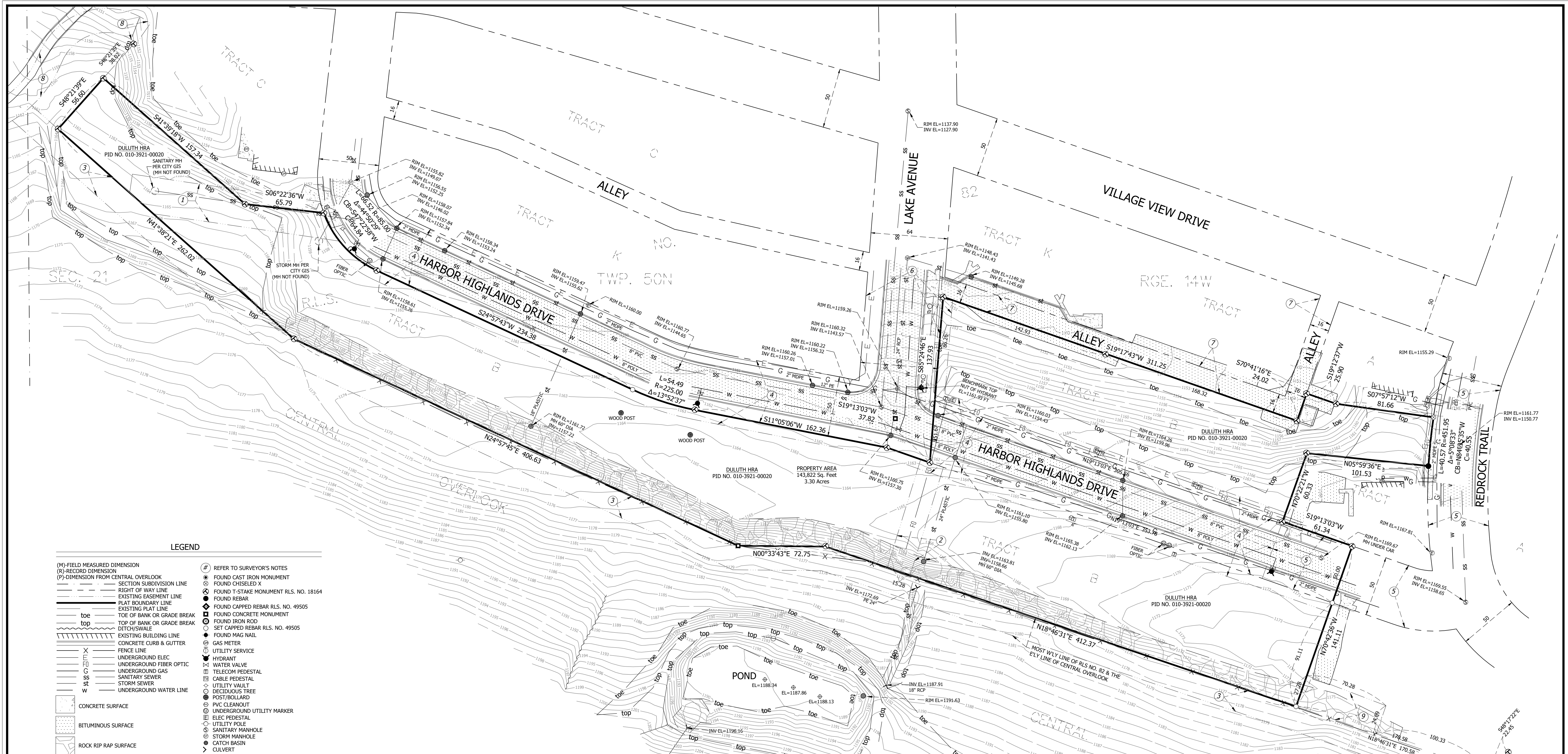
LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976 Tract B REGISTERED LAND SURVEY NO 82

Have caused the same to be surveyed and platted as HARBOR HIGHLANDS FIRST ADDITION and does hereby dedicate to the public for public use the public way(s) and/or the drainage and utility easement(s) as created by this plat.

SURVEYOR'S CERTIFICATE AND ACKNOWLEDGEMENT

I, David R. Evanson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data, dimensions, labels and symbols are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.021, as of the date of this certificate are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2025



LEGEND

- | | | | |
|------------------------------|----------------------------|-------------------------------------|---------------------------------------|
| (M) FIELD MEASURED DIMENSION | (R) RECORD DIMENSION | (P) DIMENSION FROM CENTRAL OVERLOOK | REFER TO SURVEYOR'S NOTES |
| SECTION SUBDIVISION LINE | RIGHT OF WAY LINE | EXISTING EASEMENT LINE | FOUND CAST IRON MONUMENT |
| EXISTING PLAT LINE | TOE OF BANK OR GRADE BREAK | TOP OF BANK OR GRADE BREAK | FOUND CHISELED X |
| DITCH/SWALE | EXISTING BUILDING LINE | CONCRETE CURB & GUTTER | FOUND T-STAKE MONUMENT RLS. NO. 18164 |
| FENCE LINE | UNDERGROUND ELEC | UNDERGROUND FIBER OPTIC | FOUND REBAR |
| UTILITY SERVICE | UNDERGROUND GAS | SANITARY SEWER | FOUND CAPPED REBAR RLS. NO. 49505 |
| HYDRANT | TELECOM PEDESTAL | CABLE PEDESTAL | FOUND CONCRETE MONUMENT |
| WATER VALVE | CABLE PEDESTAL | UTILITY VAULT | FOUND IRON ROD |
| TELECOM PEDESTAL | UTILITY VAULT | DECIDUOUS TREE | SET CAPPED REBAR RLS. NO. 49505 |
| CABLE PEDESTAL | DECIDUOUS TREE | POST/BOLLARD | FOUND MAG NAIL |
| UTILITY VAULT | POST/BOLLARD | UNDERGROUND UTILITY MARKER | GAS METER |
| DECIDUOUS TREE | UNDERGROUND UTILITY MARKER | ELEC PEDESTAL | UTILITY SERVICE |
| POST/BOLLARD | ELEC PEDESTAL | UTILITY POLE | HYDRANT |
| UNDERGROUND UTILITY MARKER | UTILITY POLE | SANITARY MANHOLE | WATER VALVE |
| ELEC PEDESTAL | SANITARY MANHOLE | STORM MANHOLE | TELECOM PEDESTAL |
| UTILITY POLE | STORM MANHOLE | CATCH BASIN | CABLE PEDESTAL |
| SANITARY MANHOLE | CATCH BASIN | CULVERT | UTILITY VAULT |
| STORM MANHOLE | CULVERT | | DECIDUOUS TREE |
| CATCH BASIN | | | POST/BOLLARD |
| CULVERT | | | UNDERGROUND UTILITY MARKER |

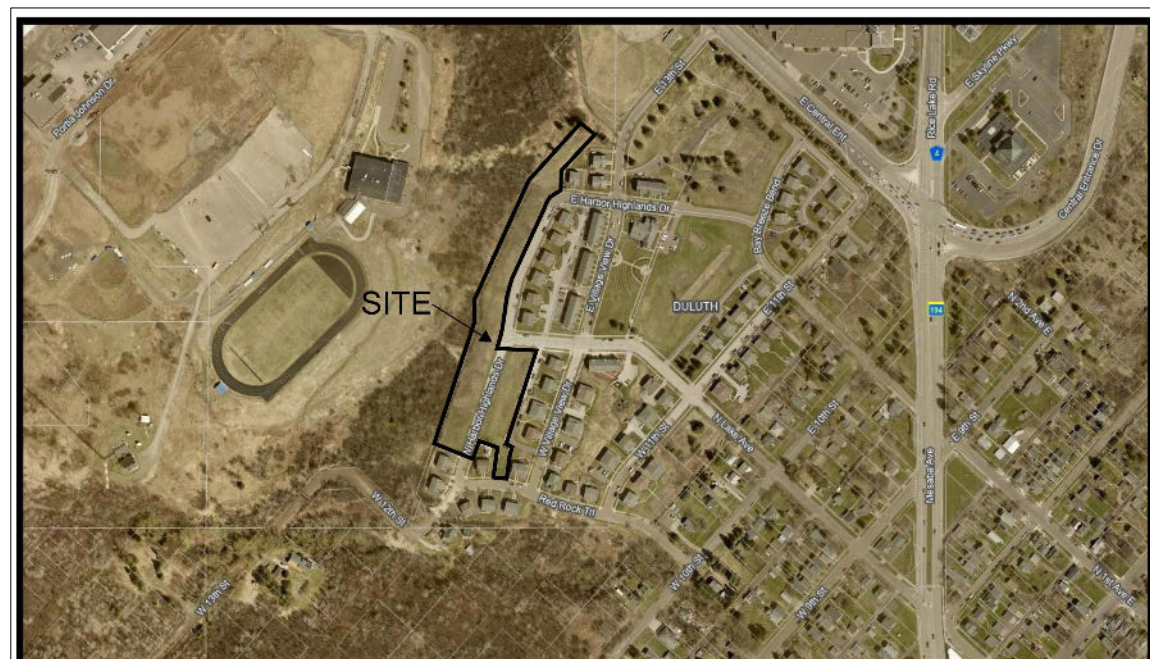
LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976
Tract B REGISTERED LAND SURVEY NO 82

SURVEYOR'S NOTES

- 30 FT UTILITY EASEMENT PER DOC. NO. 878634.
- 20 FT UTILITY EASEMENT PER DOC. NO. 878571.
- 20 FT SHARED USE PATH EASEMENT PER TORRENS DOCUMENT NO. 946969.
- 50 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
- PERMANENT STREET & UTILITY EASEMENT PER DOCUMENT NO. 848935.
- 64 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
- 16 FT ALLEY EASEMENT PER DOCUMENT NO. 867024.
- BIKEWAY EASEMENT PER TORRENS DOCUMENT NO. 436177 & 449749.
- BACKYARD EASEMENT AGREEMENT PER DOCUMENT NO. 836540.
- BEARINGS ARE BASED ON THE MOST WESTERLY LINE OF TRACT B RLS. NO. 82 WHICH IS ASSUMED TO HAVE A BEARING OF N18°46'31"E (ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996) (DAD 83 2011).
- THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR SHOWING THE LOCATION OF RECORDED OR UNRECORDED EASEMENTS OR OTHER ENCUMBRANCES NOT PROVIDED TO THE SURVEYOR AS OF THE DATE OF THE SURVEY.
- NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.
- BENCHMARK SHOWN ON SURVEY.
- DUE TO SNOW AND ICE COVERAGE, SOME FEATURES MAY NOT HAVE BEEN VISIBLE DURING THE COURSE OF THIS SURVEY.

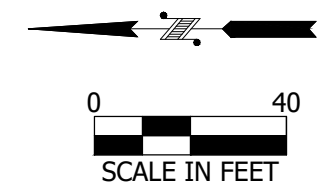
UNDERGROUND UTILITIES NOTES

- UTILITIES SHOWN HEREON, HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR, ENGINEER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.
- UNDERGROUND UTILITIES SHOWN ON THE SURVEY ARE BASED IN PART ON MARKINGS PROVIDED BY COPPER STATE ONE CALL TICKET NUMBERS 269963260, 269963261, 269963263 AND 269963264.
- SOME UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED BY MAPS AND OR UTILITY SKETCHES PROVIDED BY UTILITY COMPANIES, CITY OR COUNTY GIS. LOCATIONS ARE APPROXIMATE.
- UTILITIES SHOWN ON THIS SURVEY ARE SHOWN FOR APPROXIMATE LOCATION ONLY AND SHOULD BE VERIFIED BEFORE ANY EXCAVATION OR CONSTRUCTION.
- PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON THIS SURVEY. CONTACT A PRIVATE UTILITY LOCATOR FOR LOCATIONS.
- FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.



VACANT PROPERTY
HARBOR HIGHLANDS
DRIVE, DULUTH, MN 55805

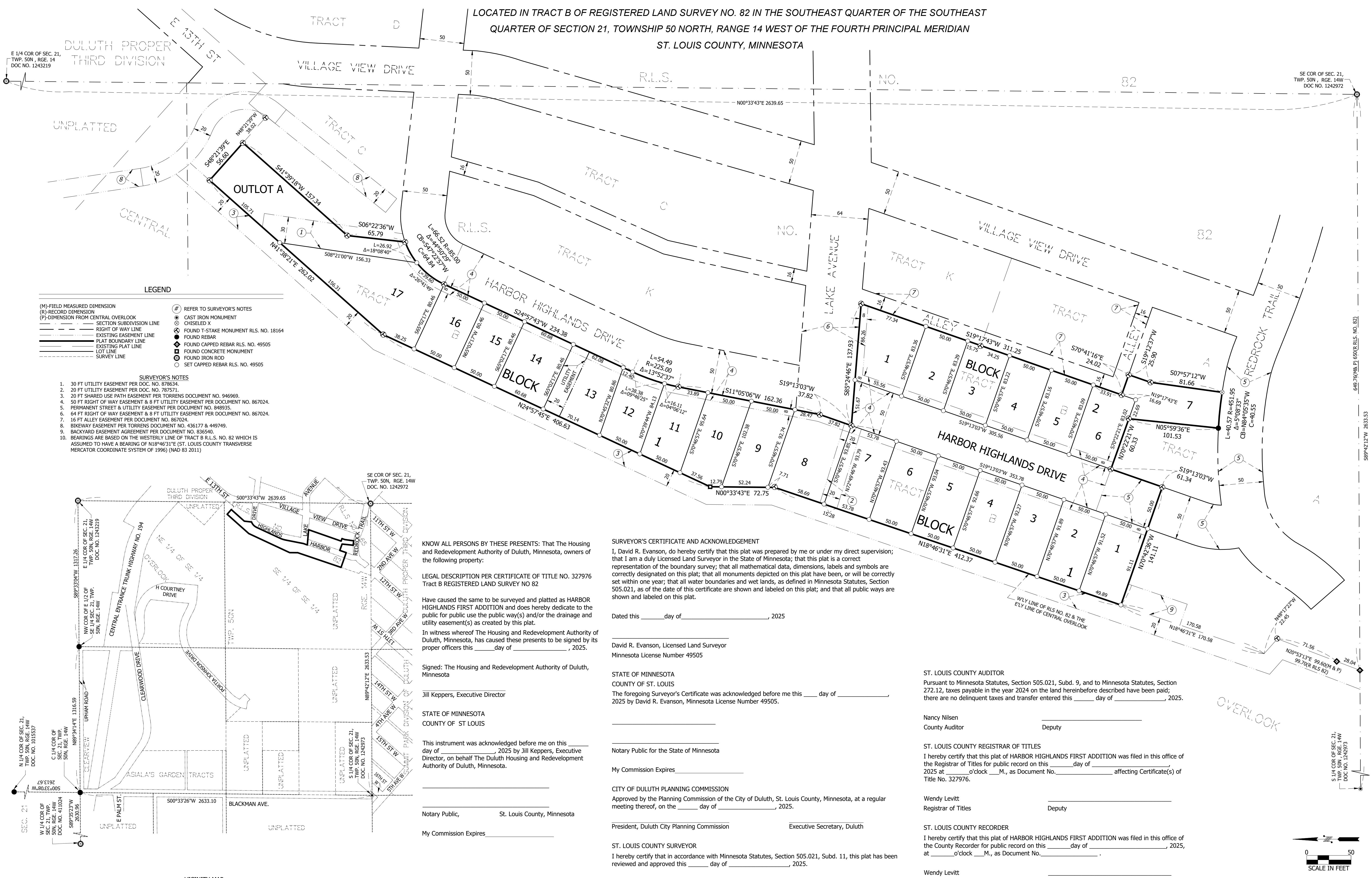
VICINITY MAP



<p>I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.</p> <p><i>David R. Evanson</i> David R. Evanson MN License #49505</p>		<p>BOUNDARY & TOPOGRAPHIC SURVEY</p> <p>CLIENT: ONE ROOF HOUSING ADDRESS: HARBOR HIGHLAND DRIVE</p>	<p>REVISIONS:</p>	<p>ALTA LAND SURVEY COMPANY</p> <p>PHONE: 218-727-5311 LICENSED IN MN & WI WWW.ALTLANDSURVEY.COM</p>
<p>DATE: 04-15-2026</p>		<p>DATE: 04-15-2026 JOB NO: 24-1030 SHEET 1 OF 1</p>		

PLAT OF HARBOR HIGHLANDS FIRST ADDITION

LOCATED IN TRACT B OF REGISTERED LAND SURVEY NO. 82 IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 50 NORTH, RANGE 14 WEST OF THE FOURTH PRINCIPAL MERIDIAN
ST. LOUIS COUNTY, MINNESOTA



LEGEND

- (M) - FIELD MEASURED DIMENSION
- (R) - RECORD DIMENSION
- (P) - DIMENSION FROM CENTRAL OVERLOOK
- SECTION SUBDIVISION LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- PLAT BOUNDARY LINE
- EXISTING PLAT LINE
- LOT LINE
- SURVEY LINE
- ⊕ REFER TO SURVEYOR'S NOTES
- ⊗ CAST IRON MONUMENT
- ⊙ CHISELED X
- ⊕ FOUND T-STAKE MONUMENT RLS. NO. 18164
- ⊕ FOUND REBAR
- ⊕ FOUND CAPPED REBAR RLS. NO. 49505
- ⊕ FOUND CONCRETE MONUMENT
- ⊕ FOUND IRON ROD
- SET CAPPED REBAR RLS. NO. 49505

SURVEYOR'S NOTES

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- 20 FT UTILITY EASEMENT PER DOC. NO. 787571.
- 20 FT SHARED USE PATH EASEMENT PER TORRENS DOCUMENT NO. 946969.
- 50 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
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- 64 FT RIGHT OF WAY EASEMENT & 8 FT UTILITY EASEMENT PER DOCUMENT NO. 867024.
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- BEARINGS ARE BASED ON THE WESTERLY LINE OF TRACT B R.L.S. NO. 82 WHICH IS ASSUMED TO HAVE A BEARING OF N18°46'31"E (ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996) (NAD 83 2011)

KNOW ALL PERSONS BY THESE PRESENTS: That The Housing and Redevelopment Authority of Duluth, Minnesota, owners of the following property:

LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 327976 Tract B REGISTERED LAND SURVEY NO 82

Have caused the same to be surveyed and platted as HARBOR HIGHLANDS FIRST ADDITION and does hereby dedicate to the public for public use the public way(s) and/or the drainage and utility easement(s) as created by this plat.

In witness whereof The Housing and Redevelopment Authority of Duluth, Minnesota, has caused these presents to be signed by its proper officers this _____ day of _____, 2025.

Signed: The Housing and Redevelopment Authority of Duluth, Minnesota

Jill Keppers, Executive Director

STATE OF MINNESOTA
COUNTY OF ST LOUIS

This instrument was acknowledged before me on this _____ day of _____, 2025 by Jill Keppers, Executive Director, on behalf The Duluth Housing and Redevelopment Authority of Duluth, Minnesota.

Notary Public, St. Louis County, Minnesota

My Commission Expires _____

SURVEYOR'S CERTIFICATE AND ACKNOWLEDGEMENT
I, David R. Evanson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data, dimensions, labels and symbols are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.021, as of the date of this certificate are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 2025

David R. Evanson, Licensed Land Surveyor
Minnesota License Number 49505

STATE OF MINNESOTA
COUNTY OF ST. LOUIS

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 2025 by David R. Evanson, Minnesota License Number 49505.

Notary Public for the State of Minnesota

My Commission Expires _____

CITY OF DULUTH PLANNING COMMISSION
Approved by the Planning Commission of the City of Duluth, St. Louis County, Minnesota, at a regular meeting thereof, on the _____ day of _____, 2025.

President, Duluth City Planning Commission Executive Secretary, Duluth

ST. LOUIS COUNTY SURVEYOR
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 2025.

Nick C. Stewart
County Surveyor Deputy

ST. LOUIS COUNTY AUDITOR
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, and to Minnesota Statutes, Section 272.12, taxes payable in the year 2024 on the land hereinbefore described have been paid; there are no delinquent taxes and transfer entered this _____ day of _____, 2025.

Nancy Nilsen
County Auditor Deputy

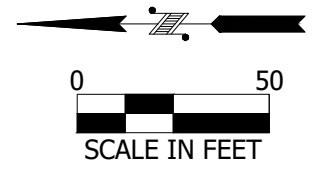
ST. LOUIS COUNTY REGISTRAR OF TITLES
I hereby certify that this plat of HARBOR HIGHLANDS FIRST ADDITION was filed in this office of the Registrar of Titles for public record on this _____ day of _____, 2025 at _____ o'clock _____ M., as Document No. _____ affecting Certificate(s) of Title No. 327976.

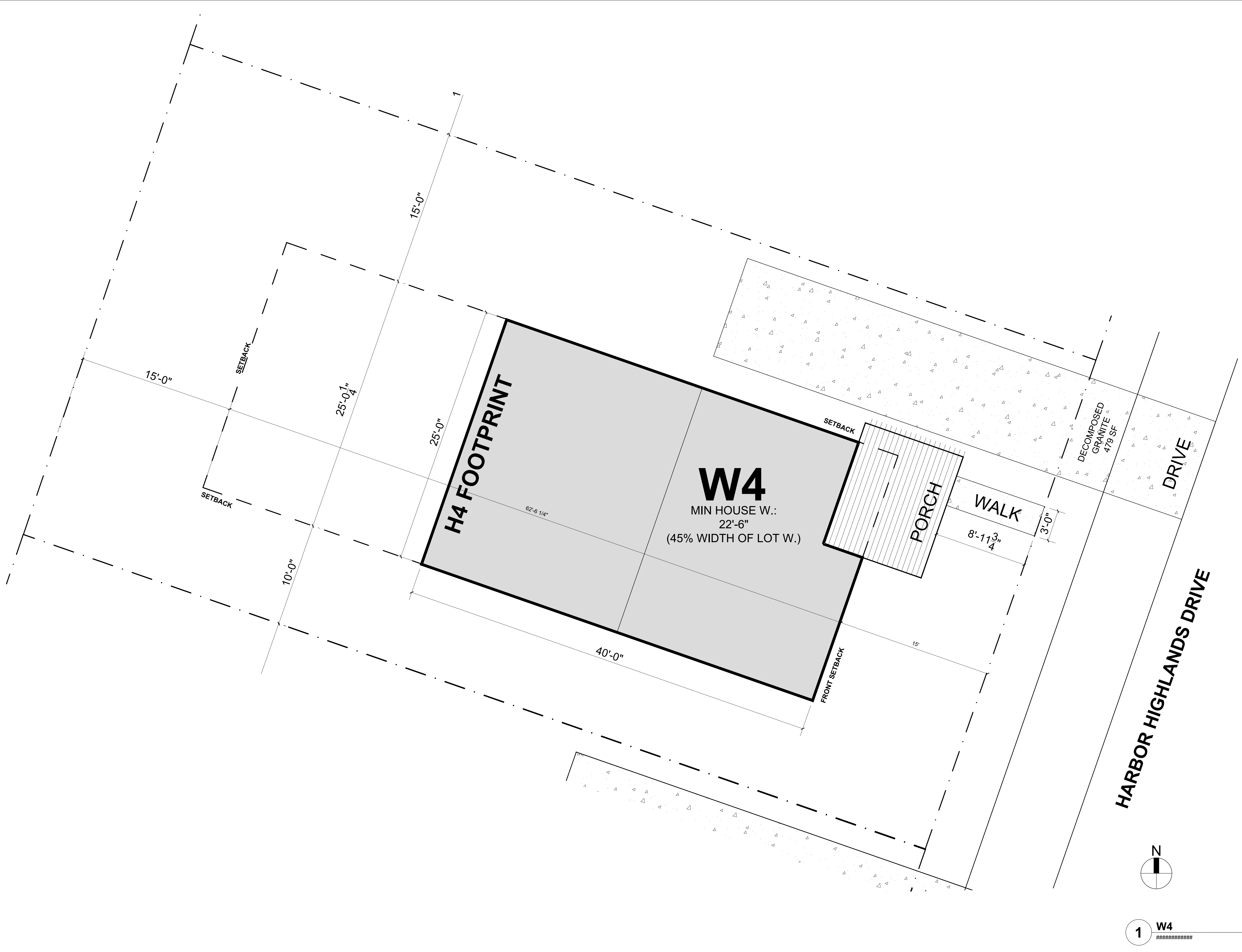
Wendy Levitt
Registrar of Titles Deputy

ST. LOUIS COUNTY RECORDER
I hereby certify that this plat of HARBOR HIGHLANDS FIRST ADDITION was filed in this office of the County Recorder for public record on this _____ day of _____, 2025, at _____ o'clock _____ M., as Document No. _____

Wendy Levitt
County Recorder Deputy

VICINITY MAP
NO SCALE
SE 1/4 OF SEC. 21, TWP. 50N, RGE. 14W





PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

CLIENT
ONEROOF COMMUNITY HOUSING
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BENJAMIN OLSEN

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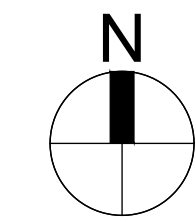
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PACKAGE	ISSUE DATE
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PRICING SET	06.03.2026

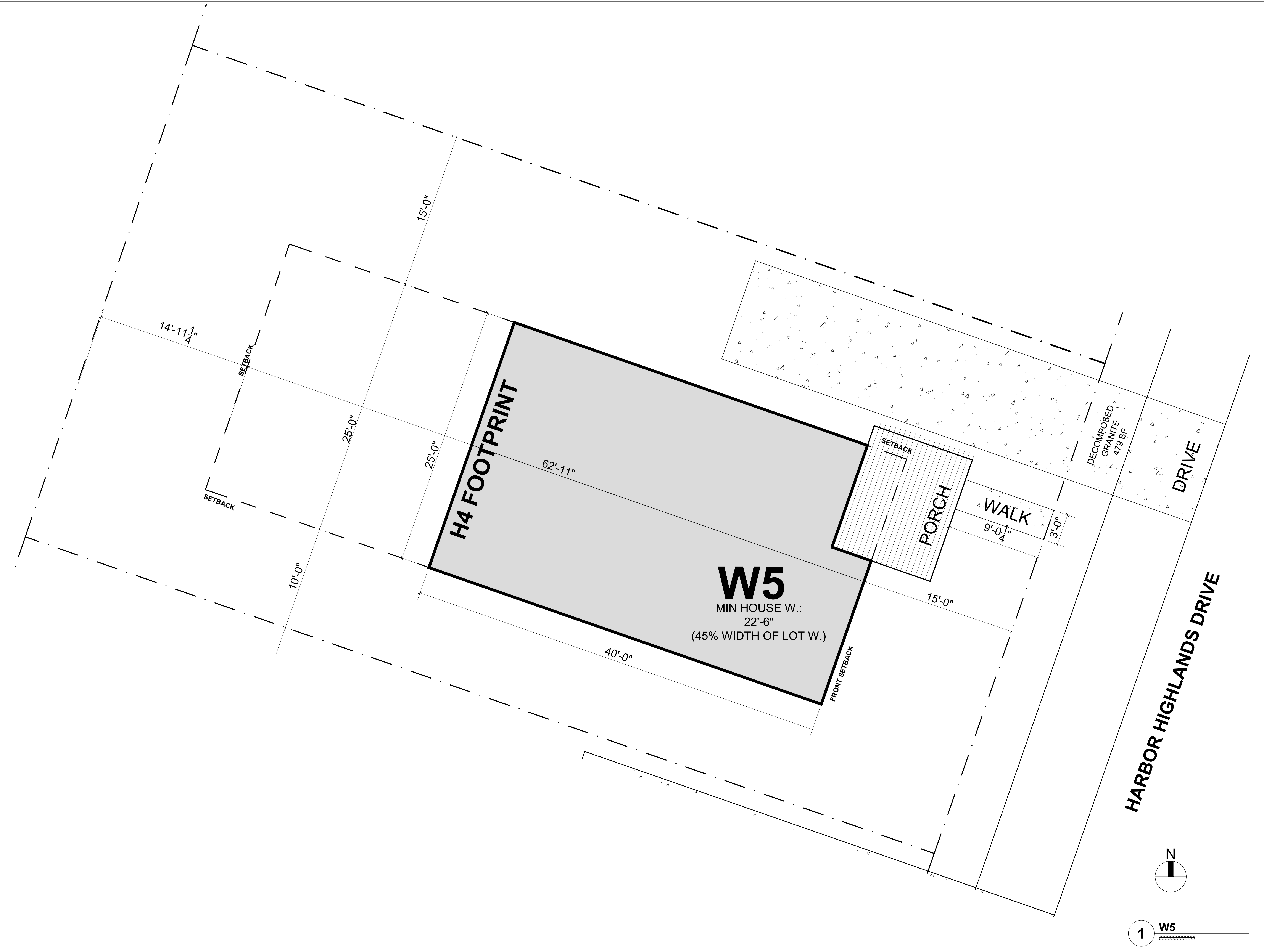
DATE _____
 PROJECT NO. _____

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W4



1 W4



PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

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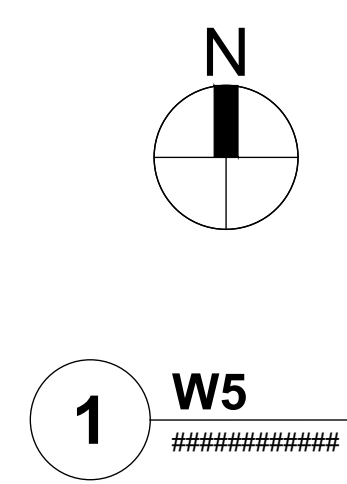
DATE

PROJECT NO.

SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.

A1.0-W5



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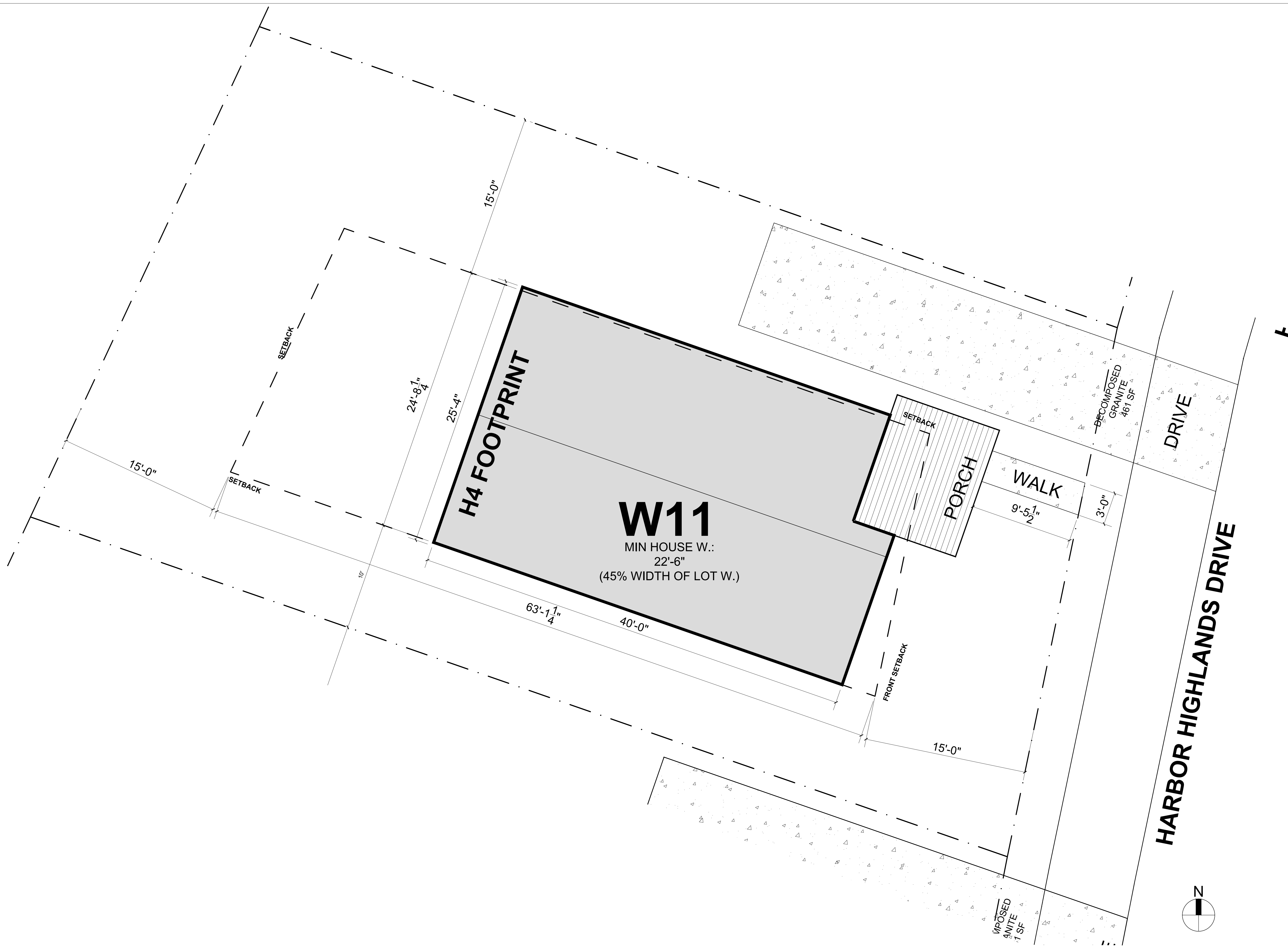
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SHEET TITLE
LOT LEVEL SITE PLAN

SHEET NO.
A1.0-W11



1 W11
 #####

PROJECT
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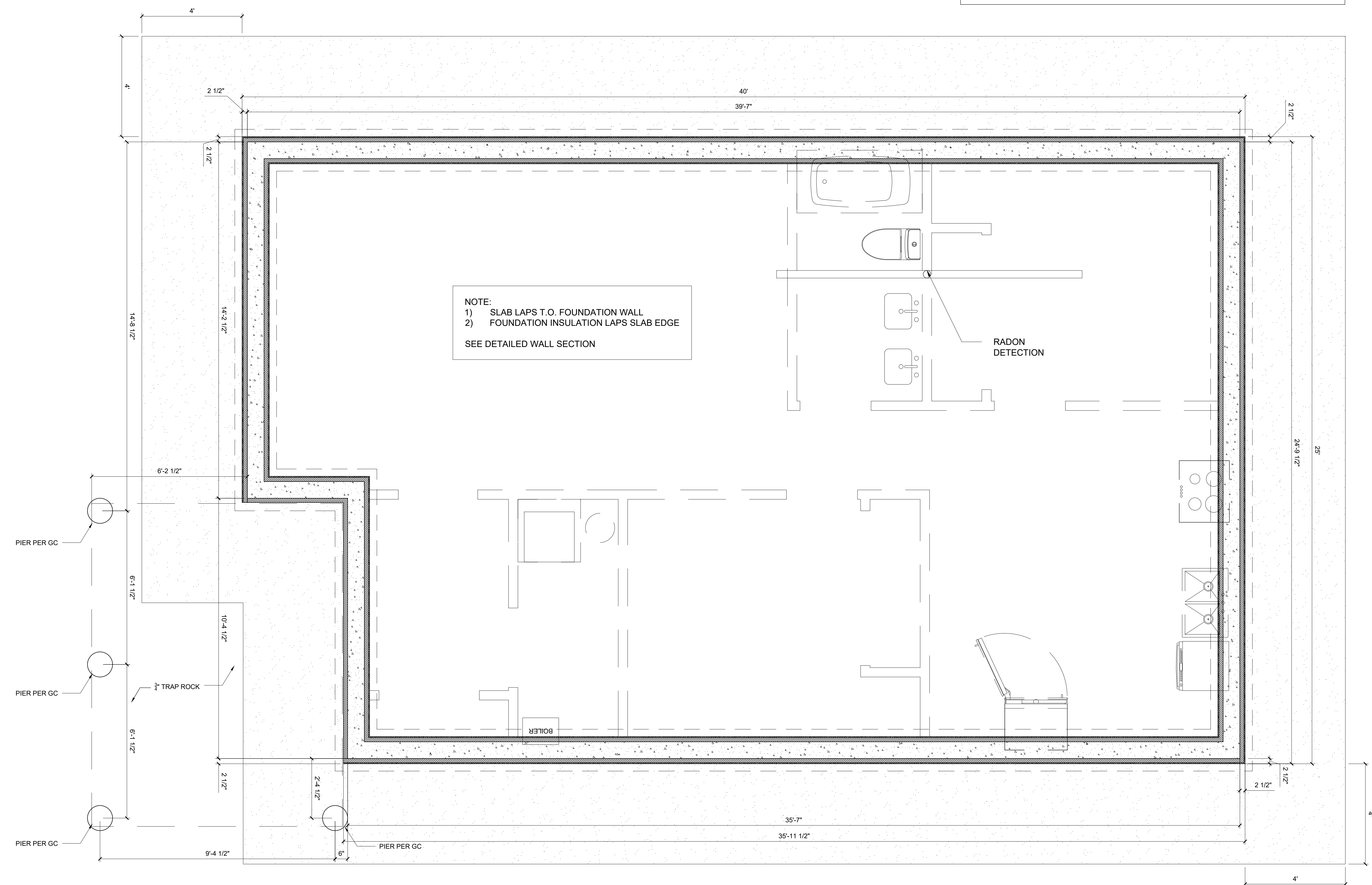
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PROJECT NO.

SHEET TITLE
FOUNDATION PLAN

SHEET NO.
A1.2

NOTE: G.C. TO PROVIDE PASSIVE RADON DETECTION
 SYSTEM SUB-SLAB IN COMPLIANCE WITH MSRBC 1303.2402



NOTE:
 1) SLAB LAPS T.O. FOUNDATION WALL
 2) FOUNDATION INSULATION LAPS SLAB EDGE
 SEE DETAILED WALL SECTION

1 H4 - FOUNDATION PLAN
 1/2" = 1'-0"

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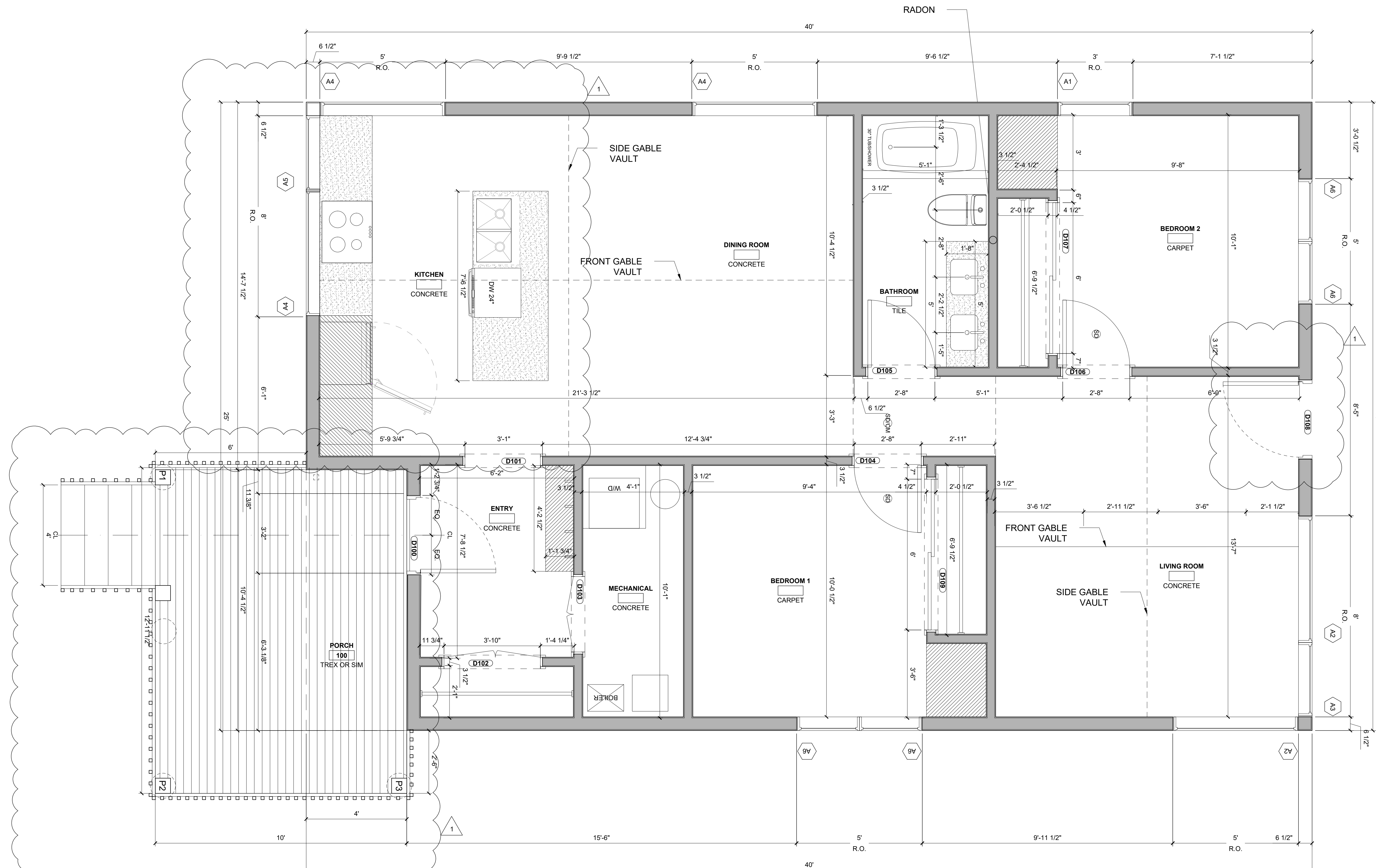
PROJECT NO.

SHEET TITLE

FLOOR PLAN

SHEET NO.

A1.3



H4 - FLOOR PLAN MAIN LEVEL
 1/2" = 1'-0"

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CLIENT

ONEROOF COMMUNITY HOUSING
C.O. DEBBIE FREEDMAN
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dfreedman@1roofhousing.org

ARCHITECT

CITYDESKSTUDIO, INC.
550 VANDALIA STREET
SAINT PAUL, MN 55114
651.644.1106 OFFICE
www.citydeskstudio.com

Contact: BEN AWES, AIA

License No.
46695

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LAWS OF THE STATE OF MINNESOTA.

DRAWN BY

BENJAMIN OLSEN

CIVIL ENGINEER

NORTHLAND CONSULTING ENGINEERS
C/O DAVE BOLF
102 SOUTH 21ST AVE W. #1
DULUTH, MINNESOTA 55806

**NOT FOR
CONSTRUCTION**

PACKAGE	ISSUE DATE
ADDENDUM 1 (H4 & H5 ONLY)	06.18.2026
PRICING SET	06.03.2026

DATE

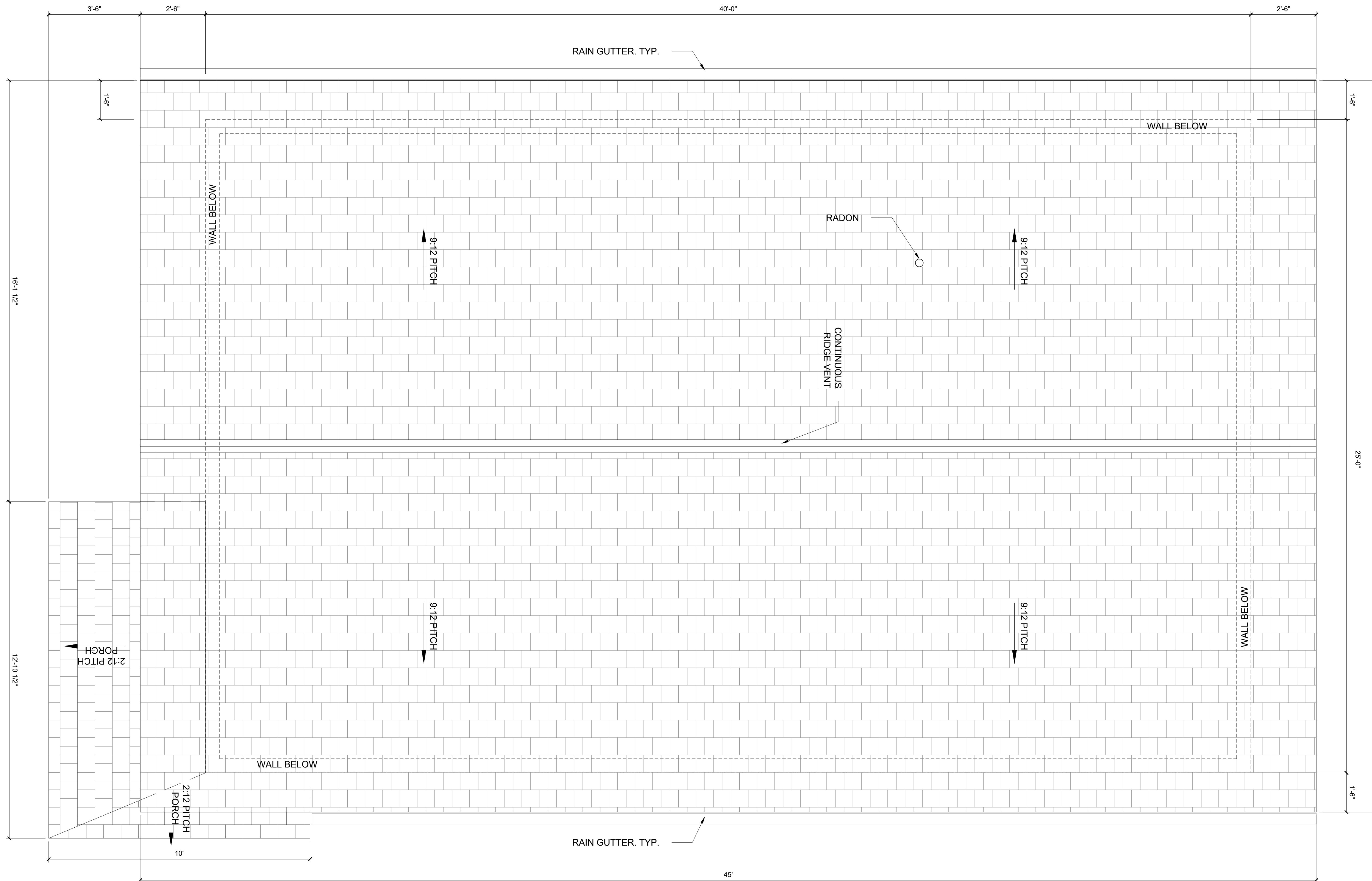
PROJECT NO.

SHEET TITLE

ROOF PLAN

SHEET NO.

A1.4



1 H4 - ROOF PLAN #1 - LONG RIDGE
1/2" = 1'-0"

PROJECT
HARBOR HIGHLANDS
 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

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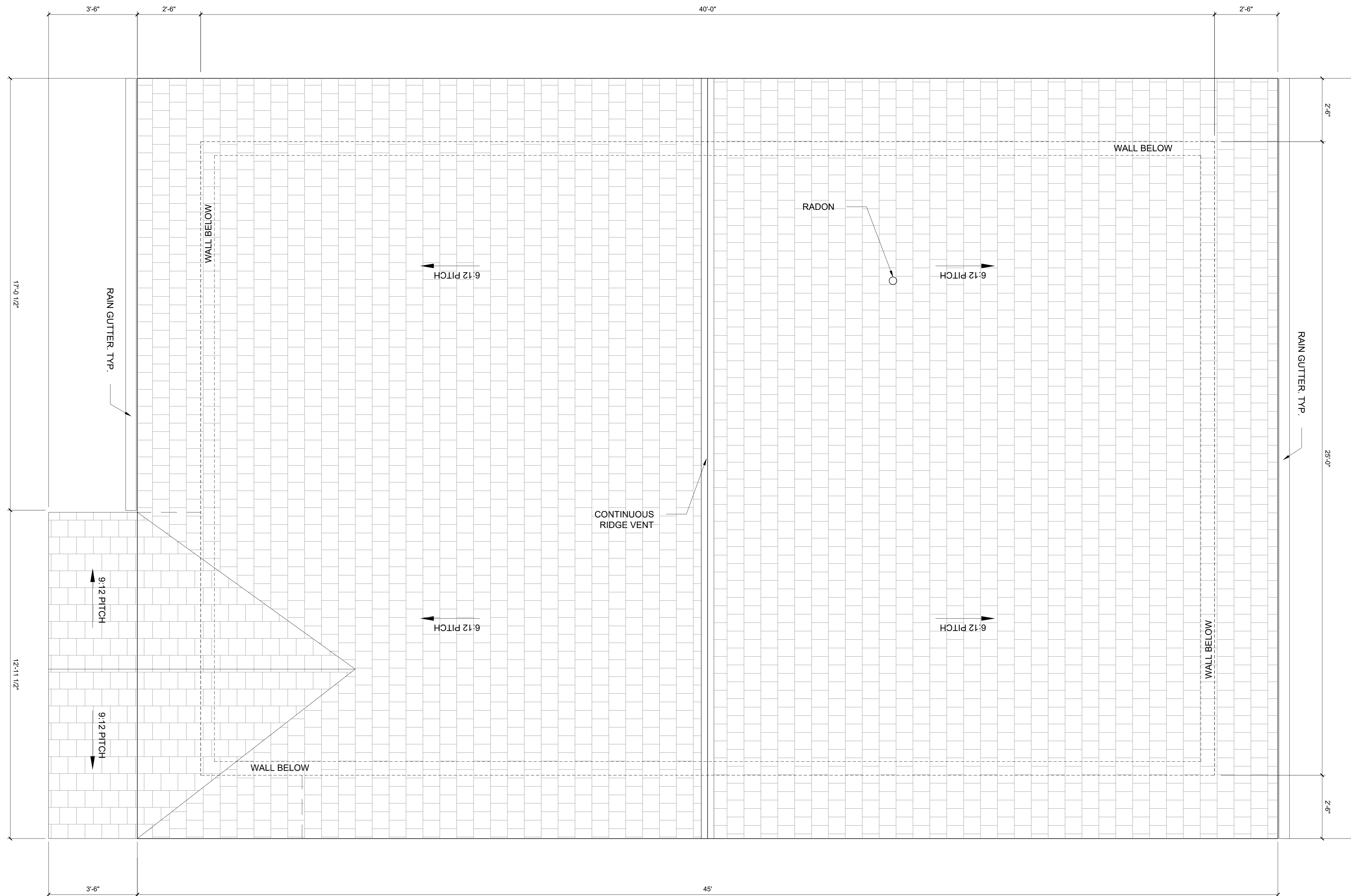
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DATE
PROJECT NO.

SHEET TITLE
ROOF PLAN

SHEET NO.

A1.5



1 H4 ROOF PLAN #2 - SHORT RIDGE
 1/2" = 1'-0"

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 HARBOR HIGHLANDS DRIVE
 DULUTH, MN 55805

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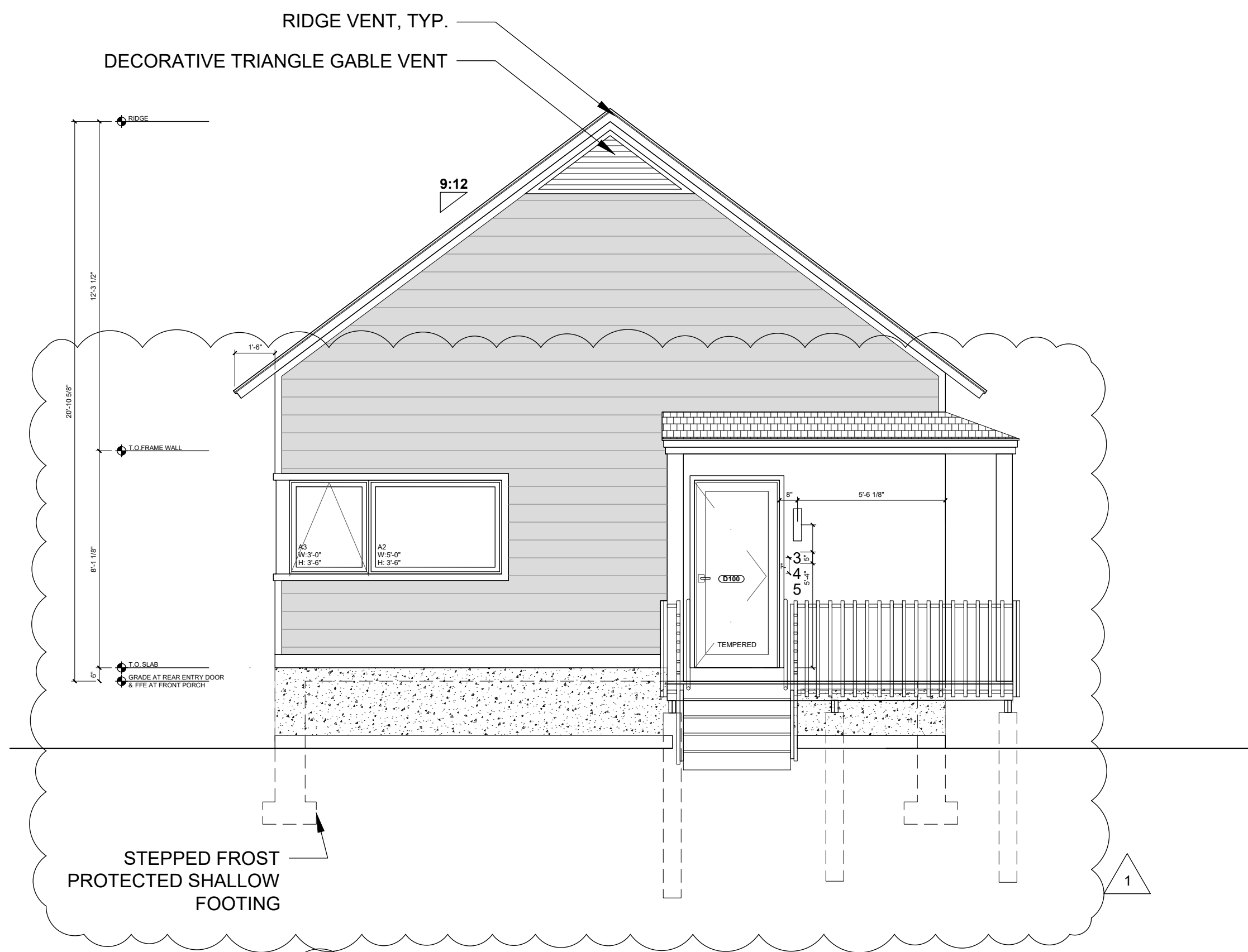
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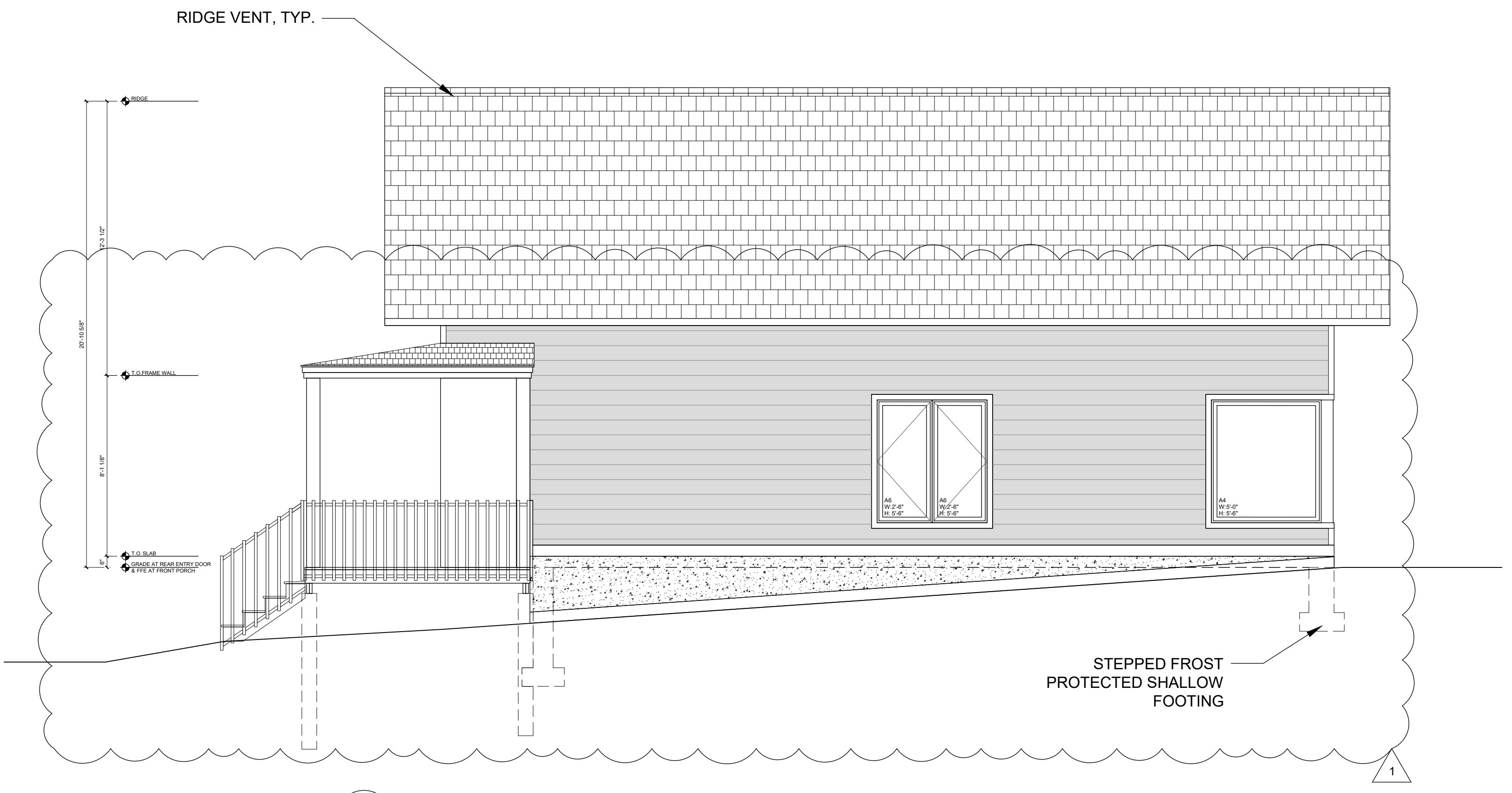
DATE
PROJECT NO.

SHEET TITLE
**ELEVATIONS -
 FRONT GABLE**

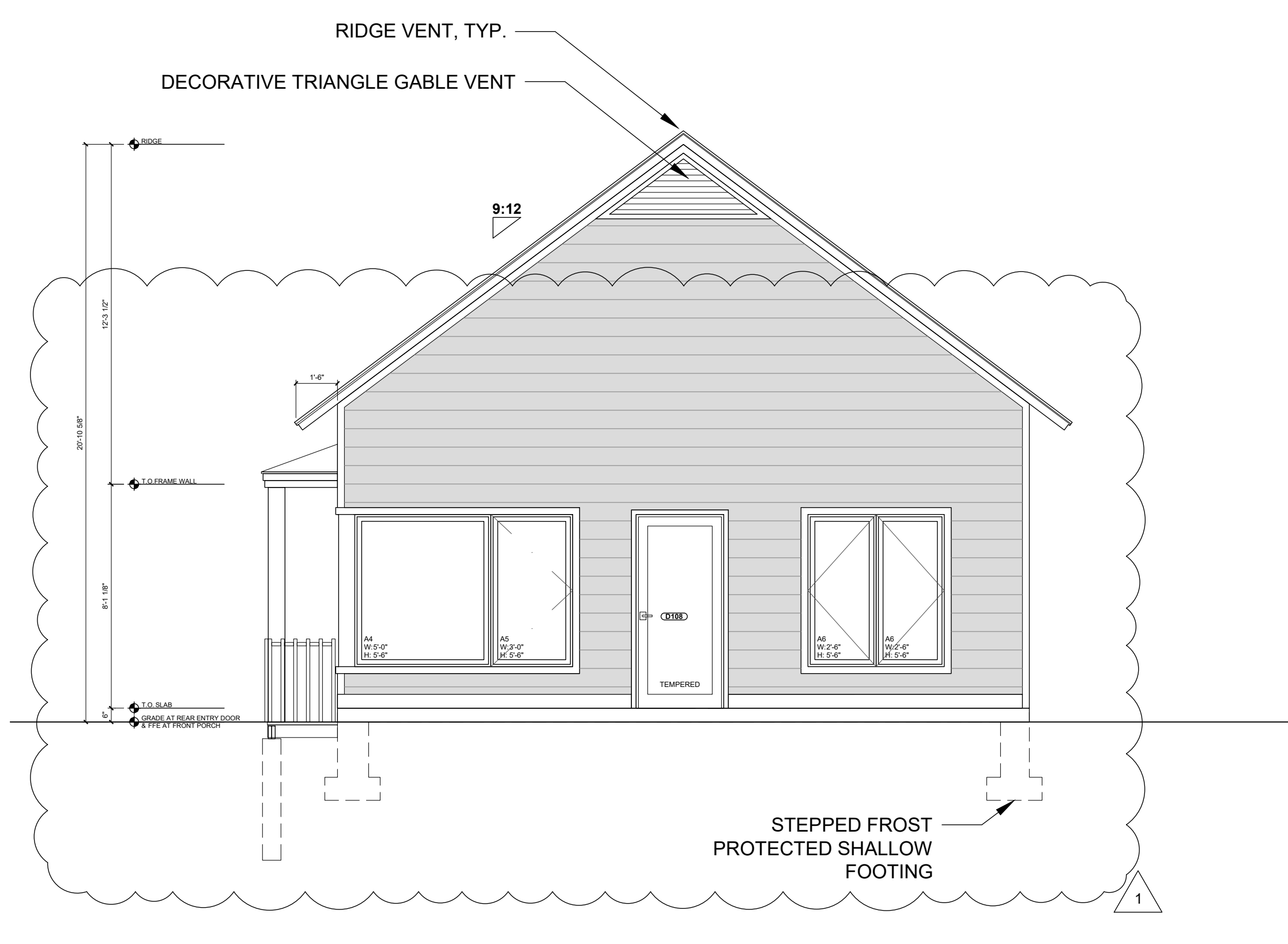
SHEET NO.
A3.0



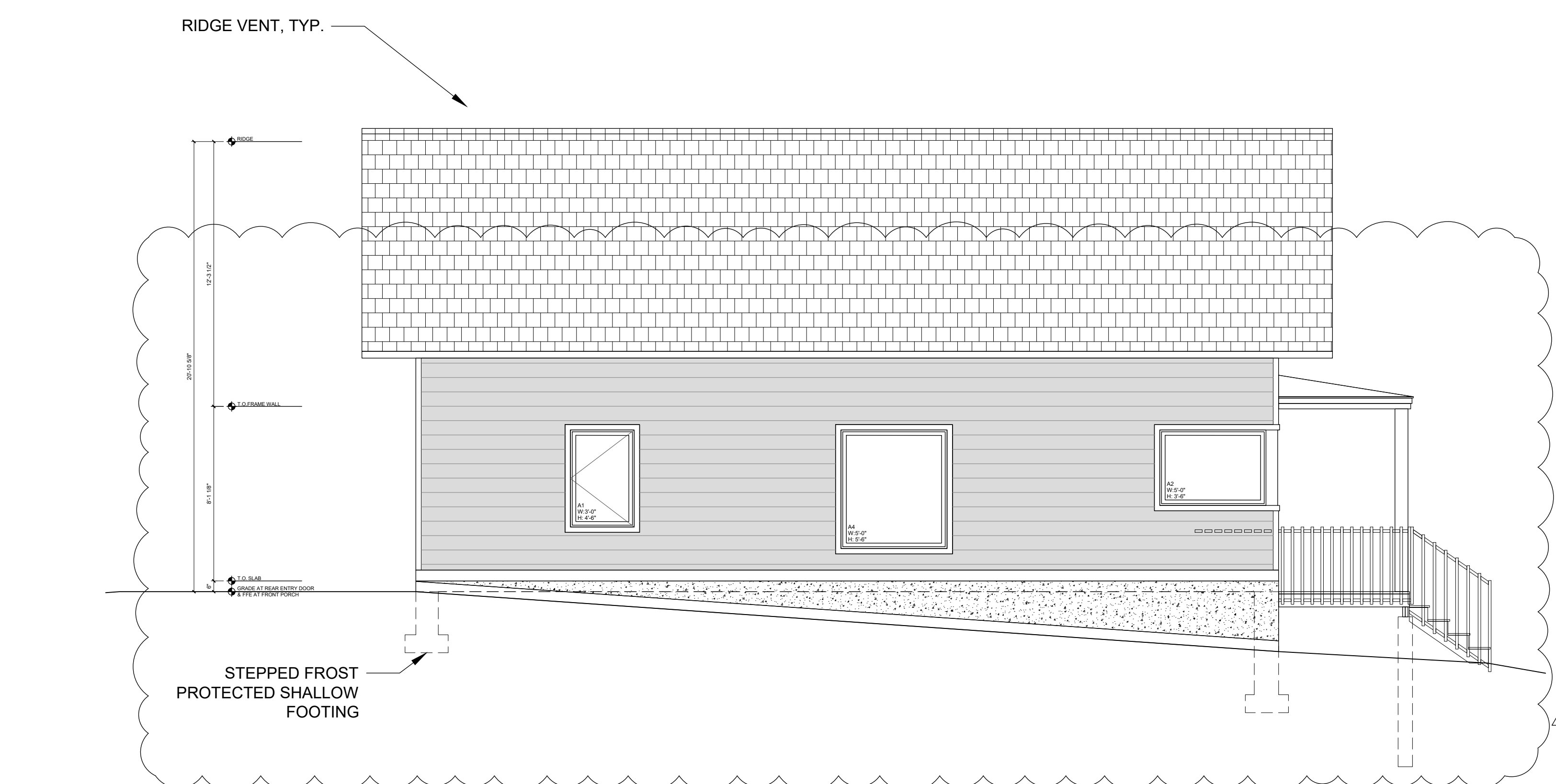
1 FRONT ELEVATION - FRONT GABLE
 1/4"=1'-0"



2 RIGHT ELEVATION - FRONT GABLE
 1/4"=1'-0"



3 BACK ELEVATION - FRONT GABLE
 1/4"=1'-0"



4 LEFT ELEVATION - FRONT GABLE
 1/4"=1'-0"

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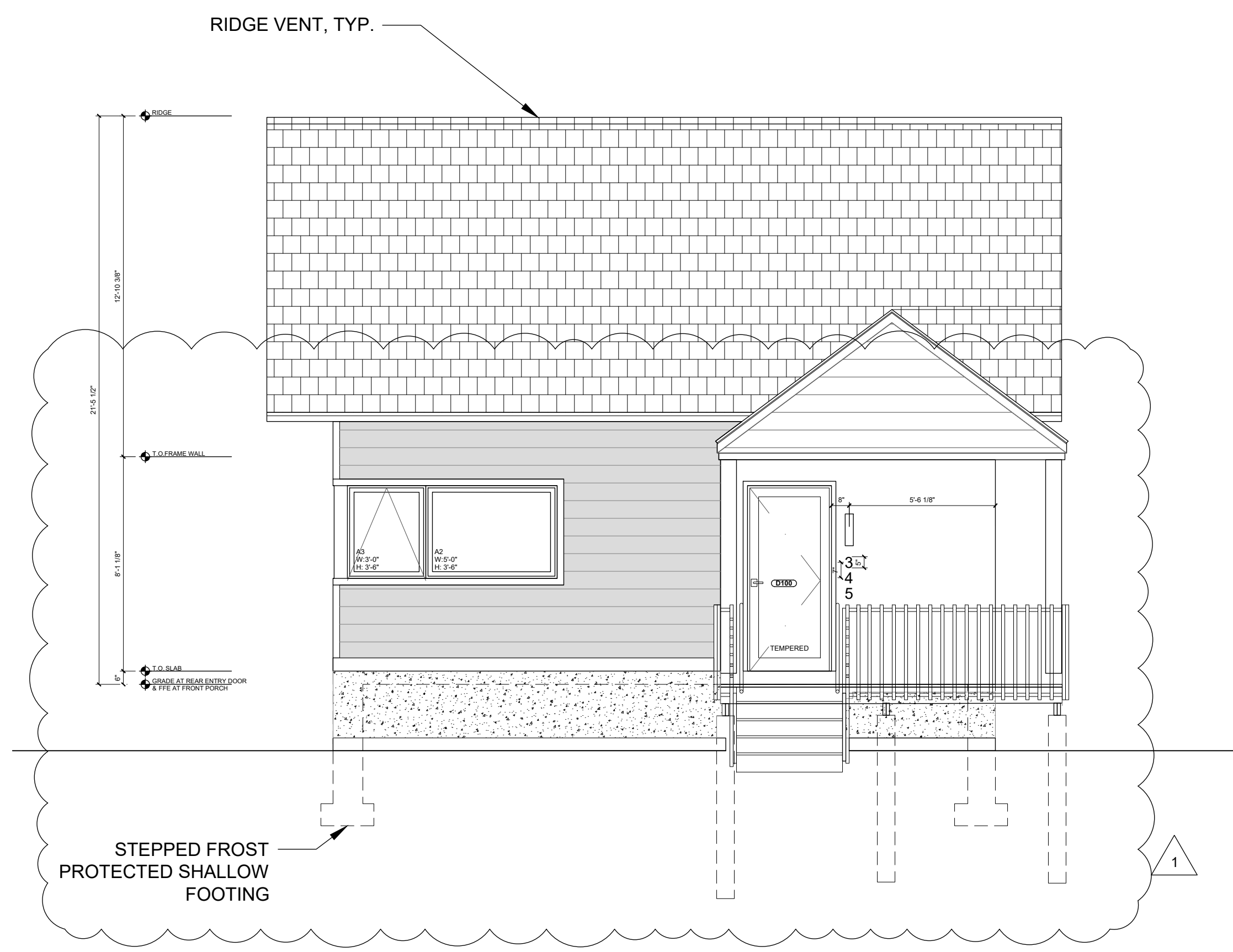
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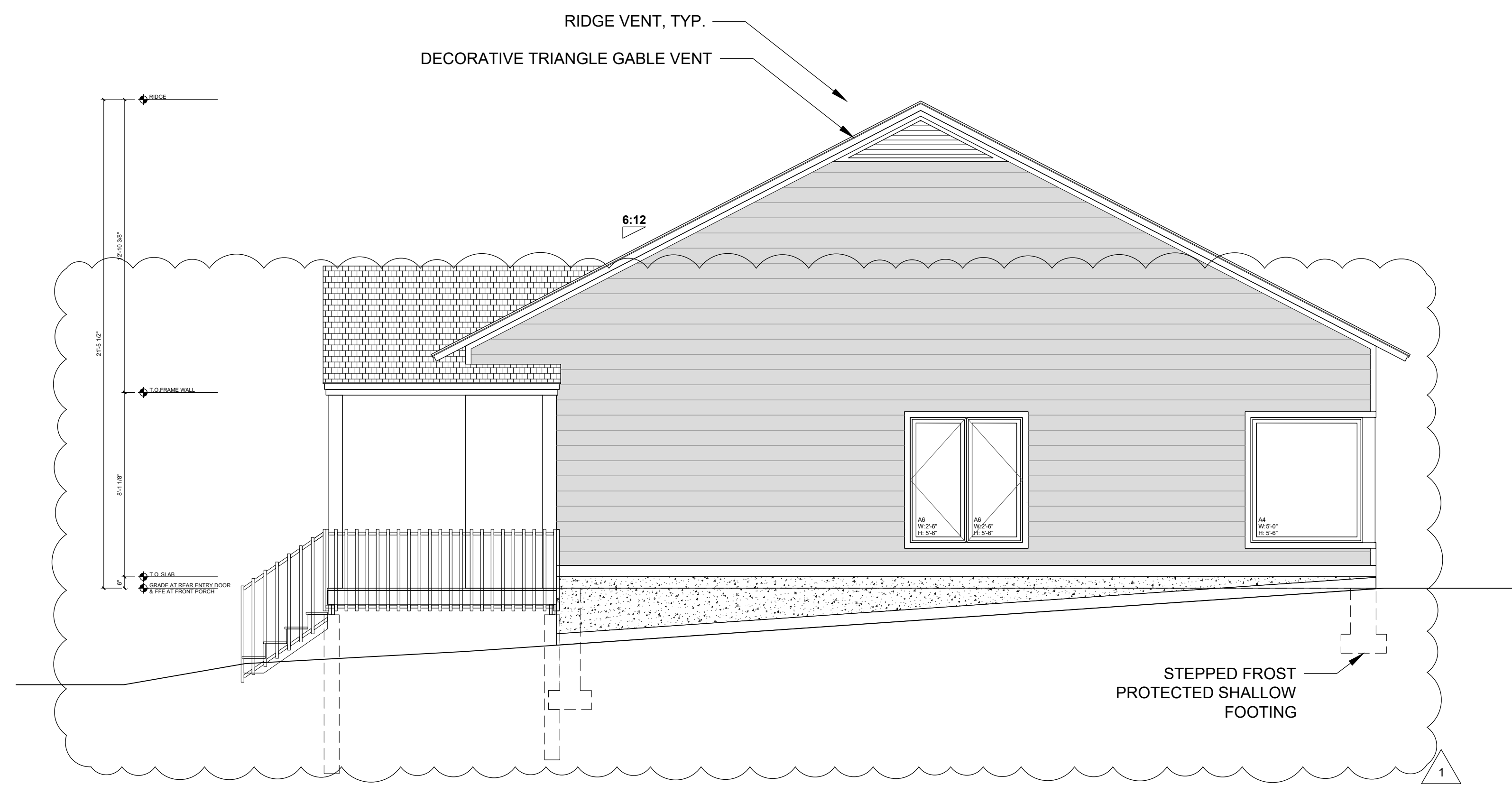
DATE
PROJECT NO.

SHEET TITLE
**ELEVATIONS -
 SIDE GABLE**

SHEET NO.
A3.1



1 FRONT ELEVATION - SIDE GABLE
 1/4"=1'-0"



2 RIGHT ELEVATION - SIDE GABLE
 1/4"=1'-0"

PROJECT
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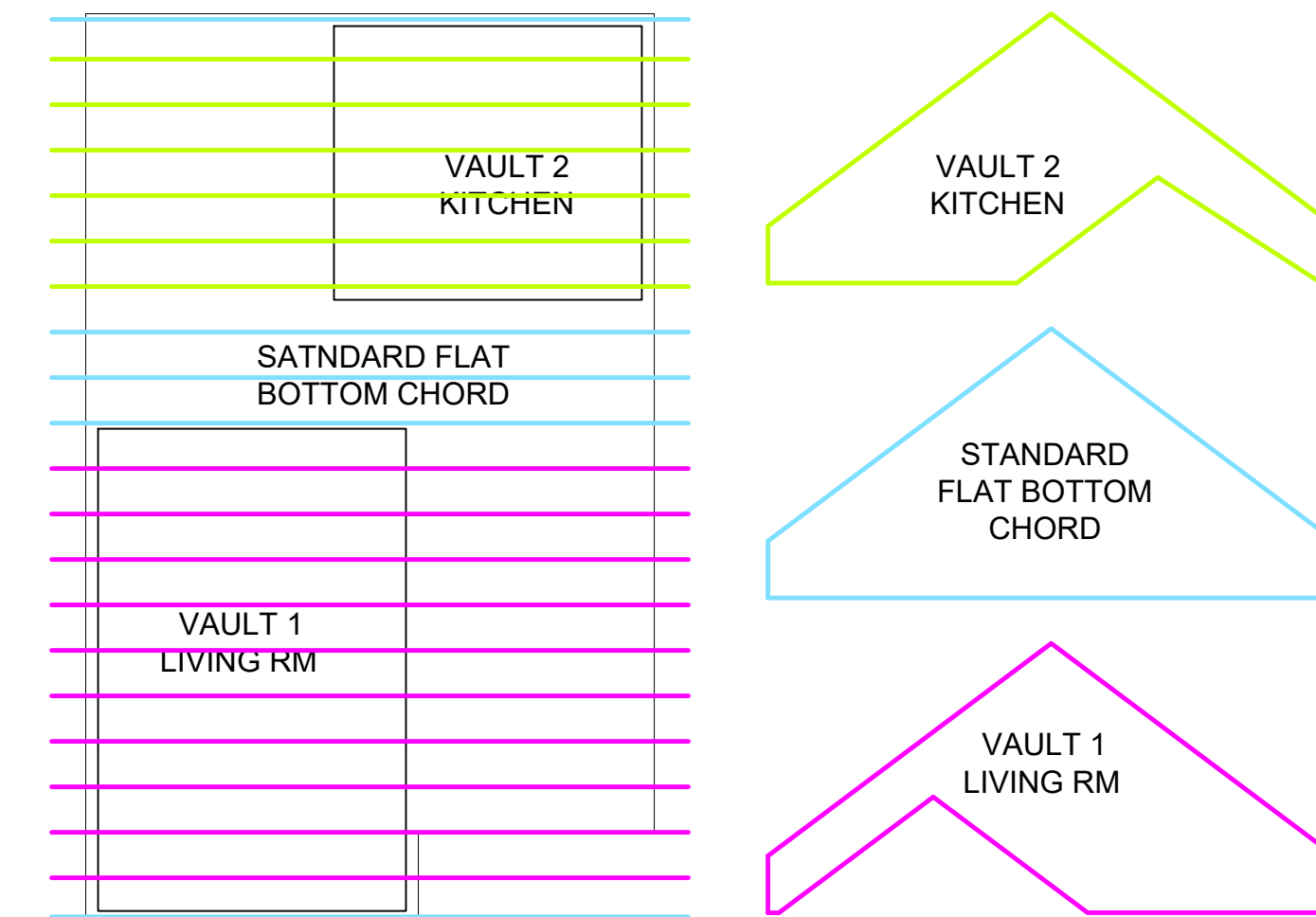
SHEET TITLE

H4 FRONT GABLE HOUSE SECTIONS

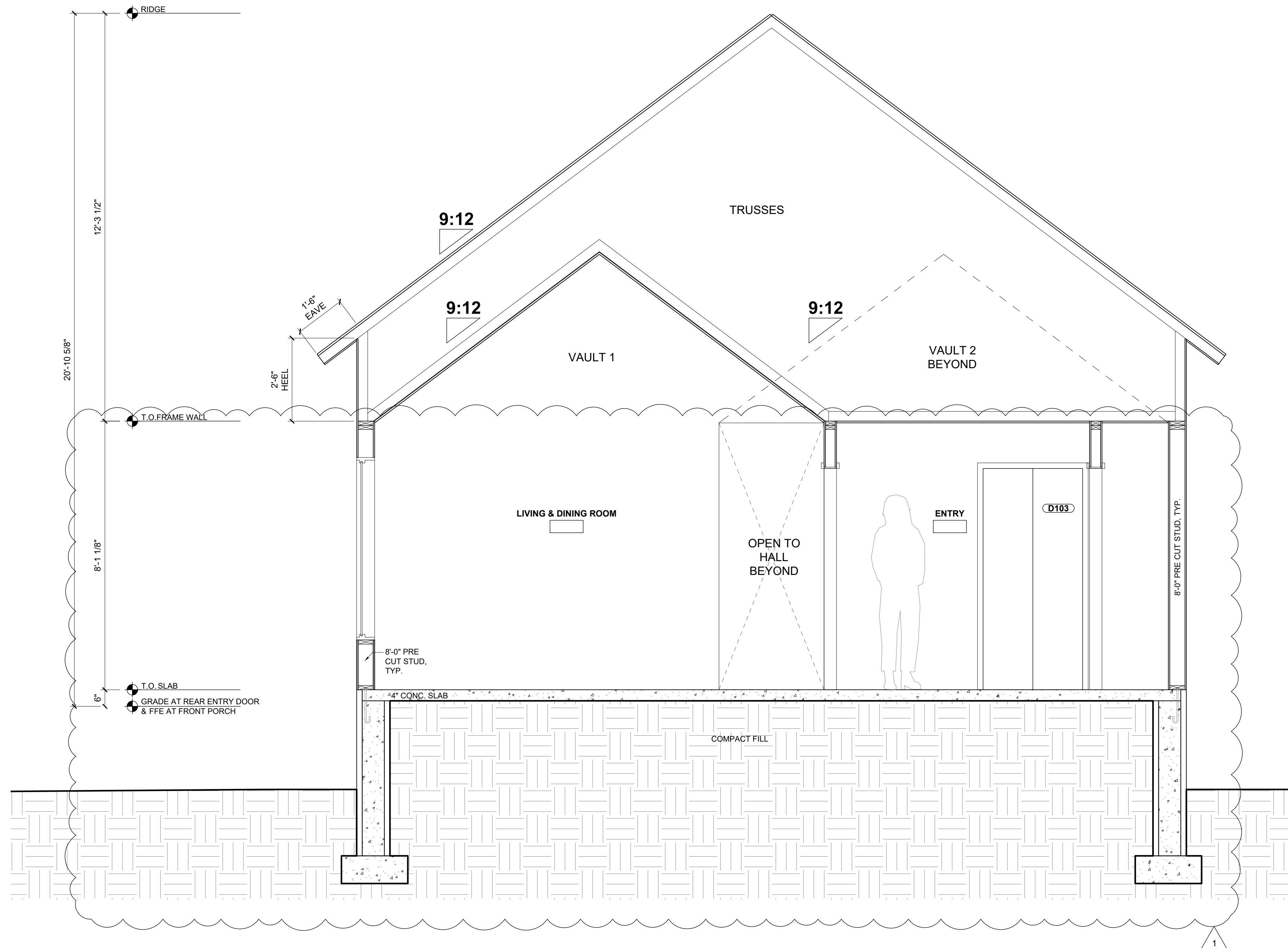
SHEET NO.

A4.0

NOTE:
ROOF FRAMING DIAGRAMMING IS FOR ILLUSTRATIVE PURPOSES ONLY



2 TRUSS TYPE DIAGRAM
1/8" = 1'-0"



1 H4- FRONT GABLE - SECTION
1/2" = 1'-0"

PROJECT
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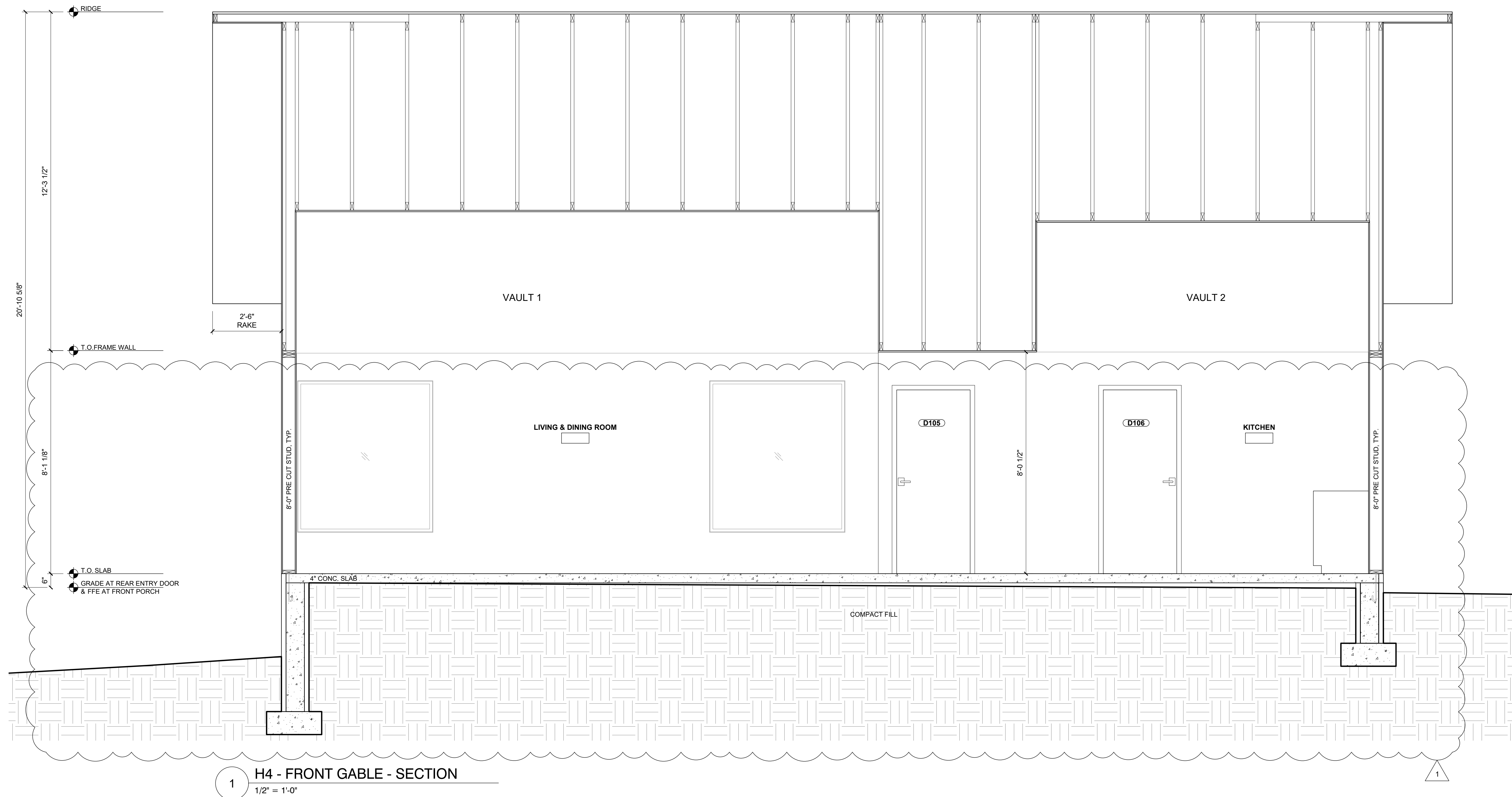
PROJECT NO.

SHEET TITLE

H4 FRONT GABLE HOUSE SECTIONS

SHEET NO.

A4.1



1 H4 - FRONT GABLE - SECTION
 1/2" = 1'-0"

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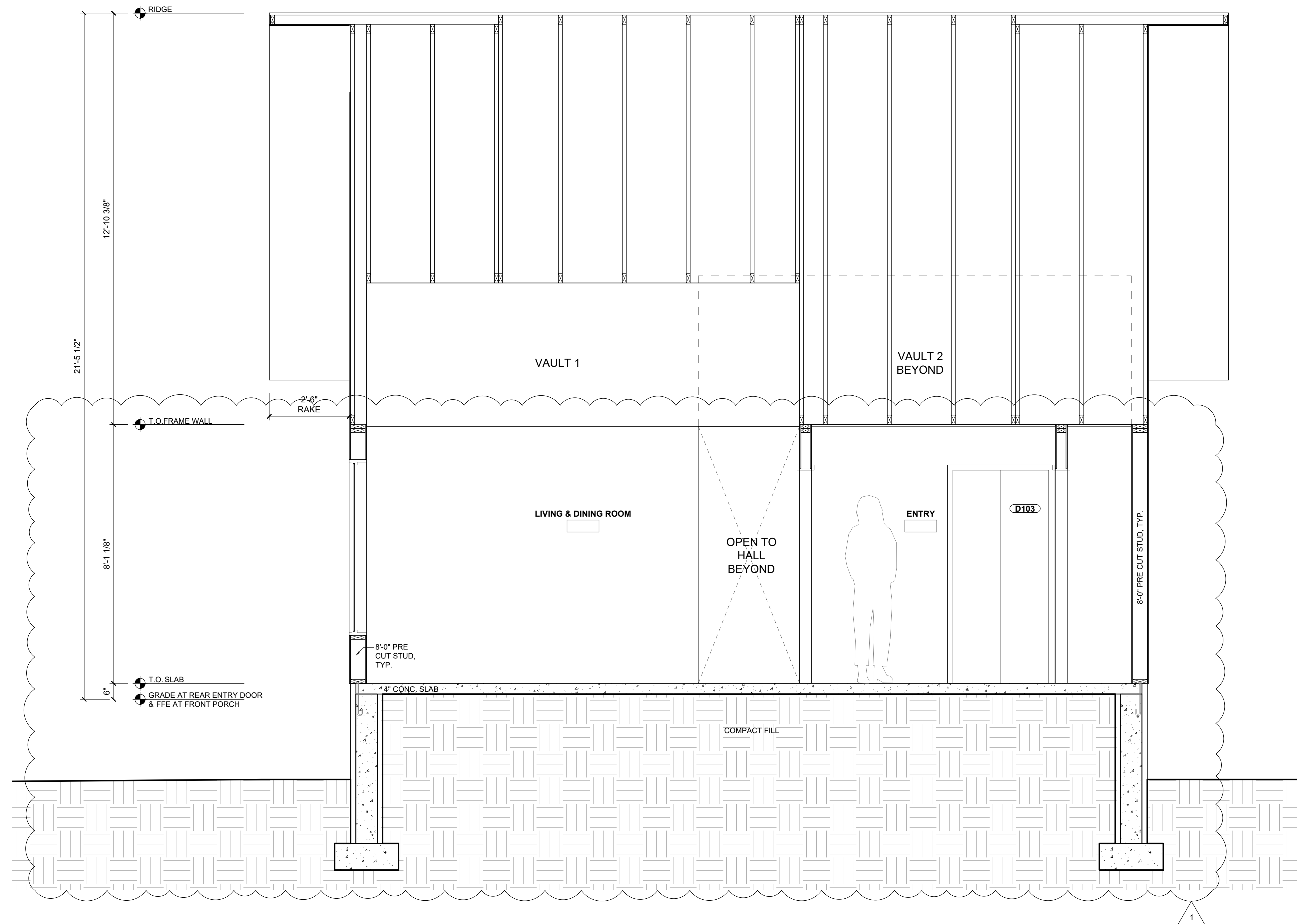
PROJECT NO.

SHEET TITLE

H4 HOUSE SECTIONS

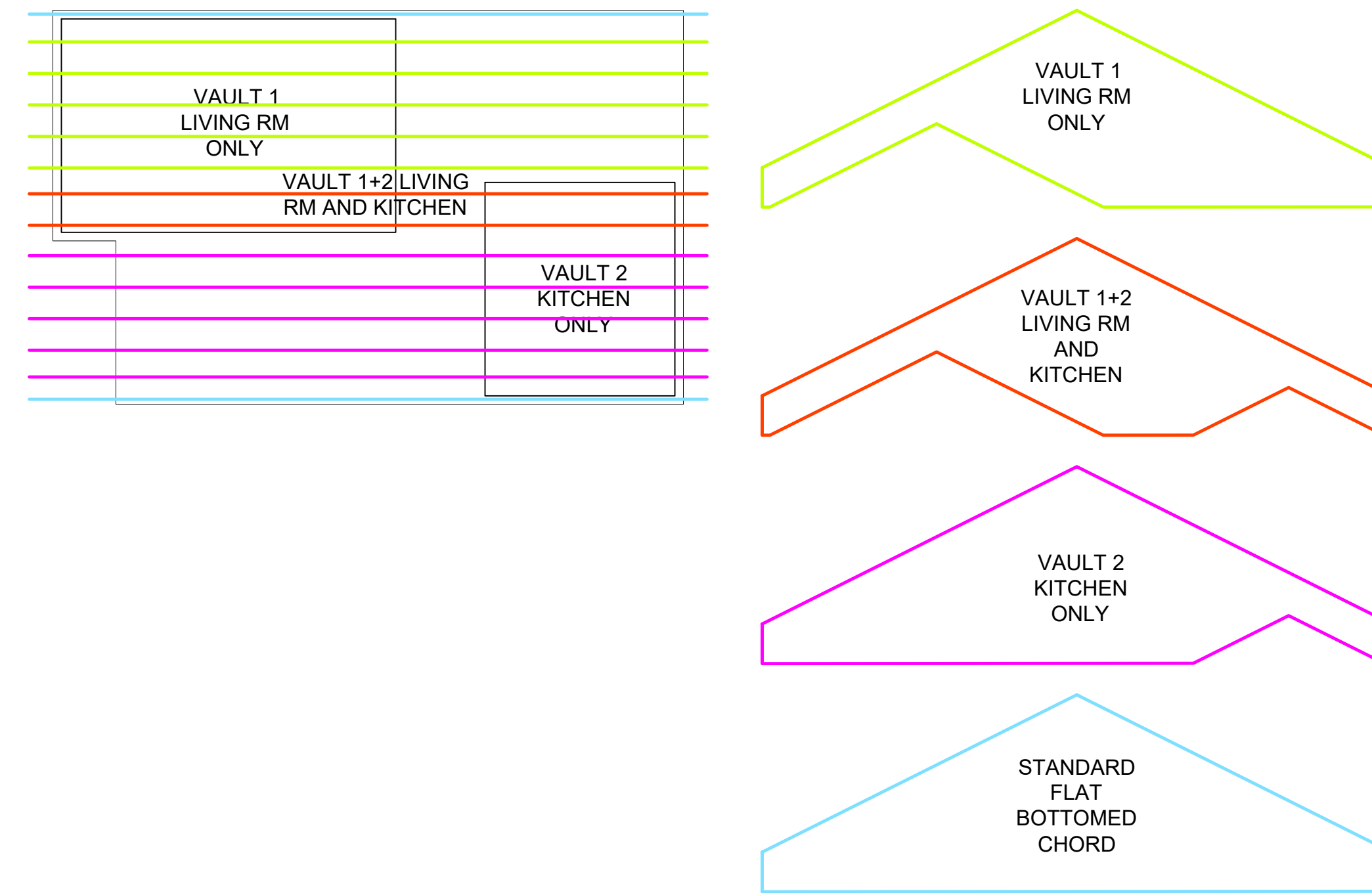
SHEET NO.

A4.2

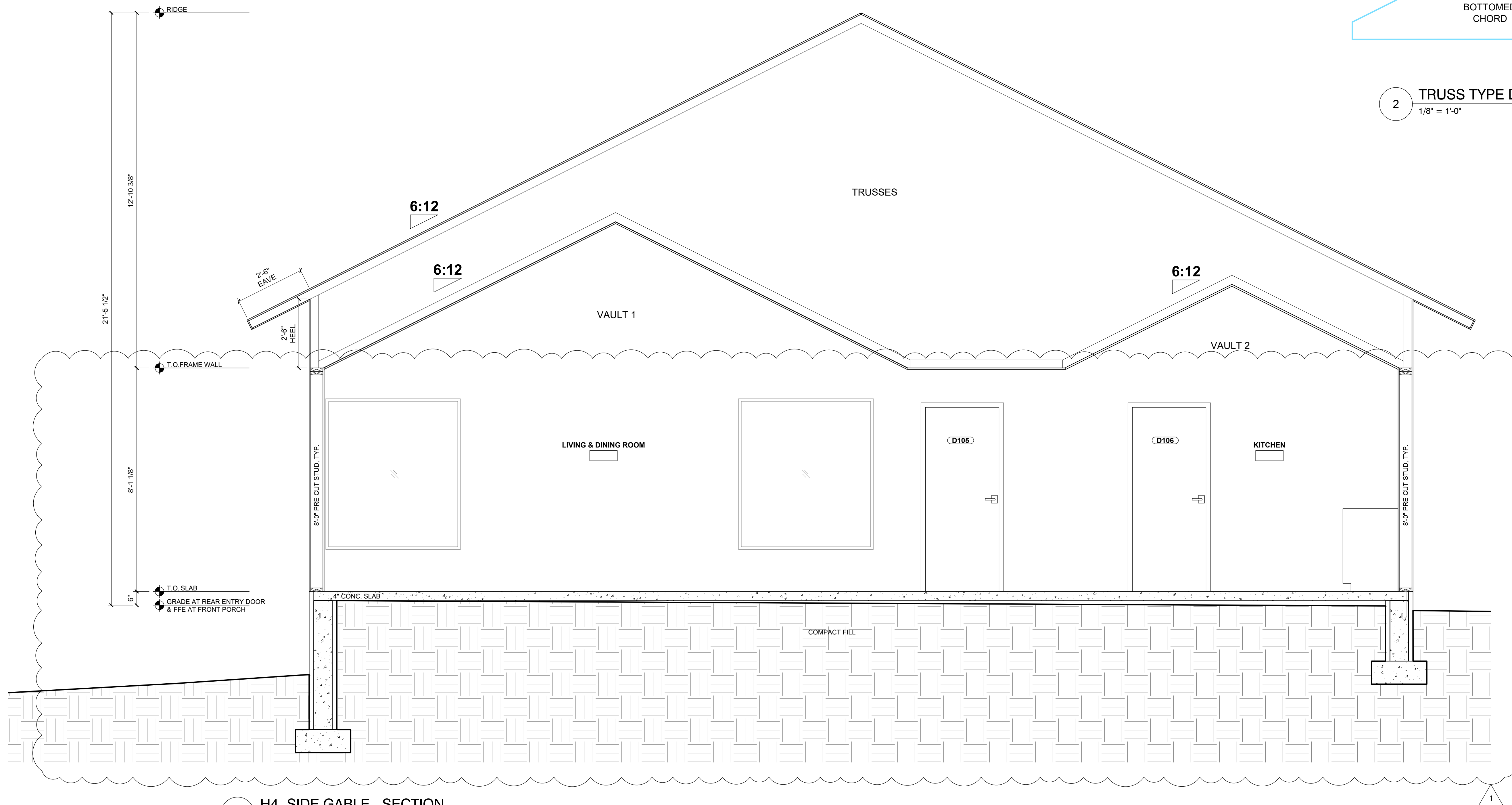


1 H4- SIDE GABLE - SECTION
1/2" = 1'-0"

NOTE:
ROOF FRAMING DIAGRAMMING IS FOR ILLUSTRATIVE PURPOSES ONLY



2 TRUSS TYPE DIAGRAM
1/8" = 1'-0"



1 H4- SIDE GABLE - SECTION
1/2" = 1'-0"

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PROJECT NO.

SHEET TITLE

**H4 SIDE GABLE
HOUSE SECTIONS**

SHEET NO.

A4.3

PROJECT
HARBOR HIGHLANDS

HARBOR HIGHLANDS DRIVE
DULUTH, MN 55805

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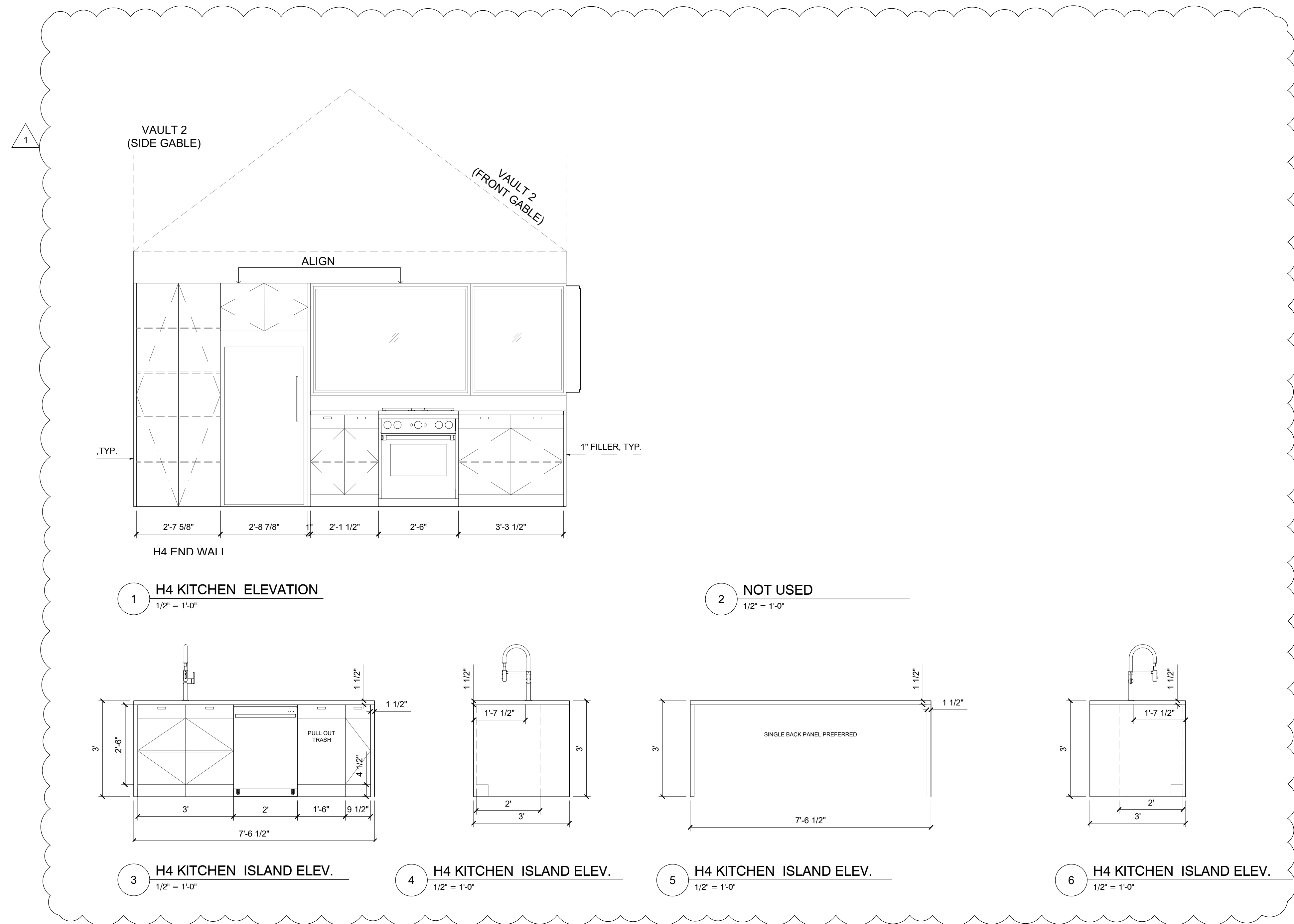
PROJECT NO.

SHEET TITLE

H4 INTERIOR ELEVATIONS

SHEET NO.

A5.0



1 H4 KITCHEN ELEVATION
1/2" = 1'-0"

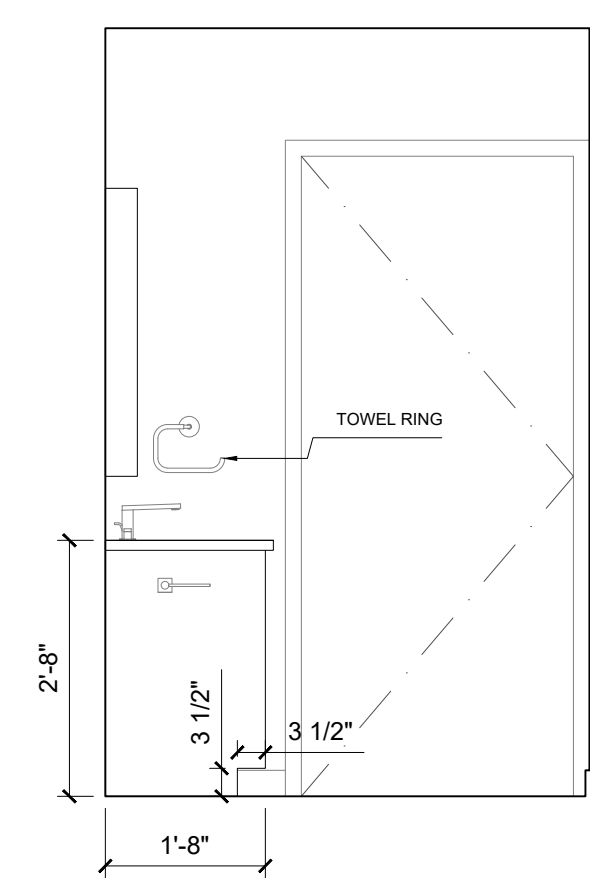
2 NOT USED
1/2" = 1'-0"

3 H4 KITCHEN ISLAND ELEV.
1/2" = 1'-0"

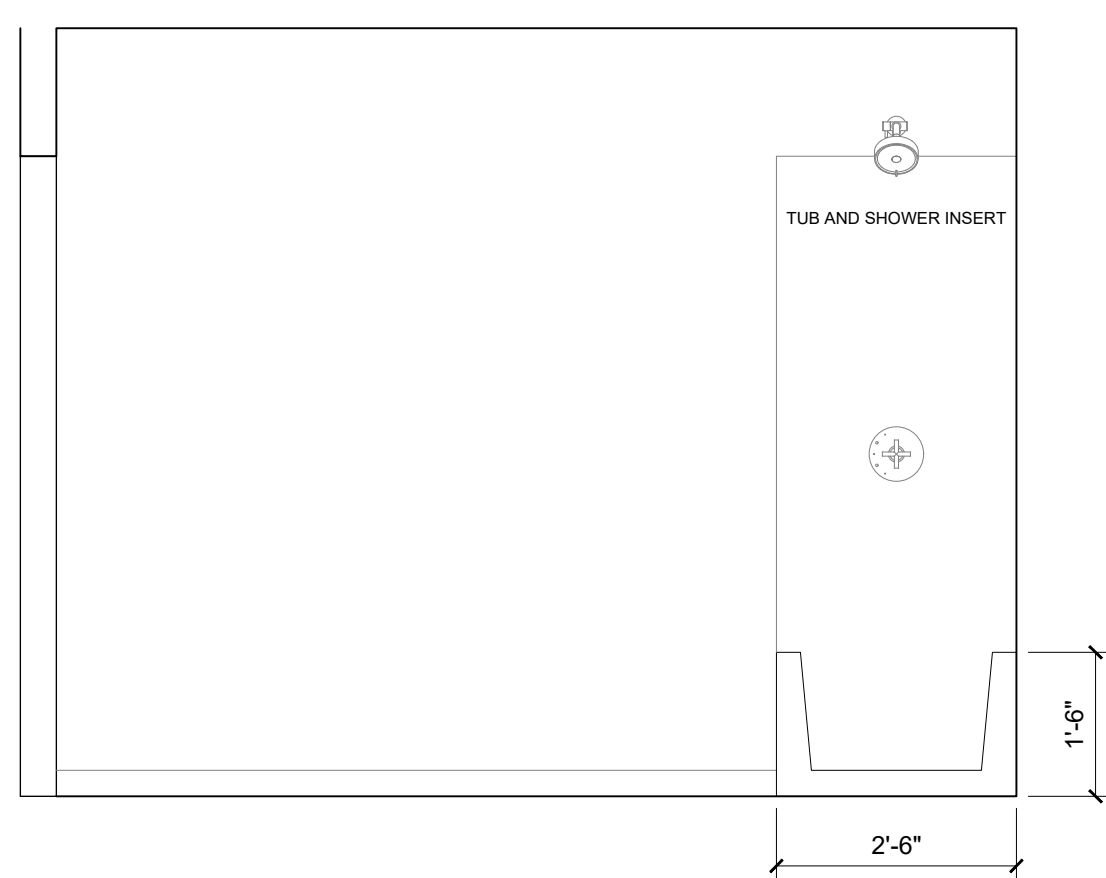
4 H4 KITCHEN ISLAND ELEV.
1/2" = 1'-0"

5 H4 KITCHEN ISLAND ELEV.
1/2" = 1'-0"

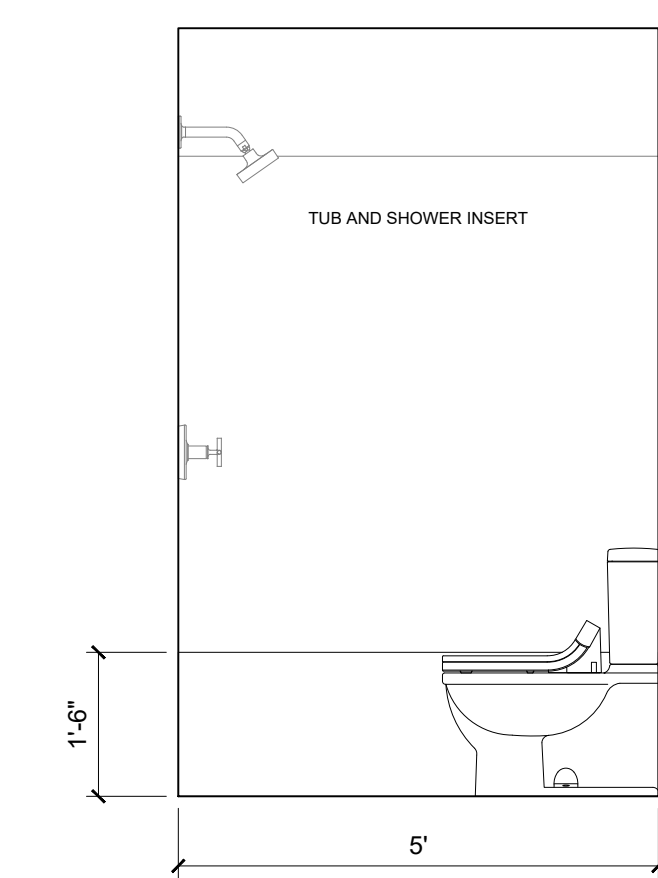
6 H4 KITCHEN ISLAND ELEV.
1/2" = 1'-0"



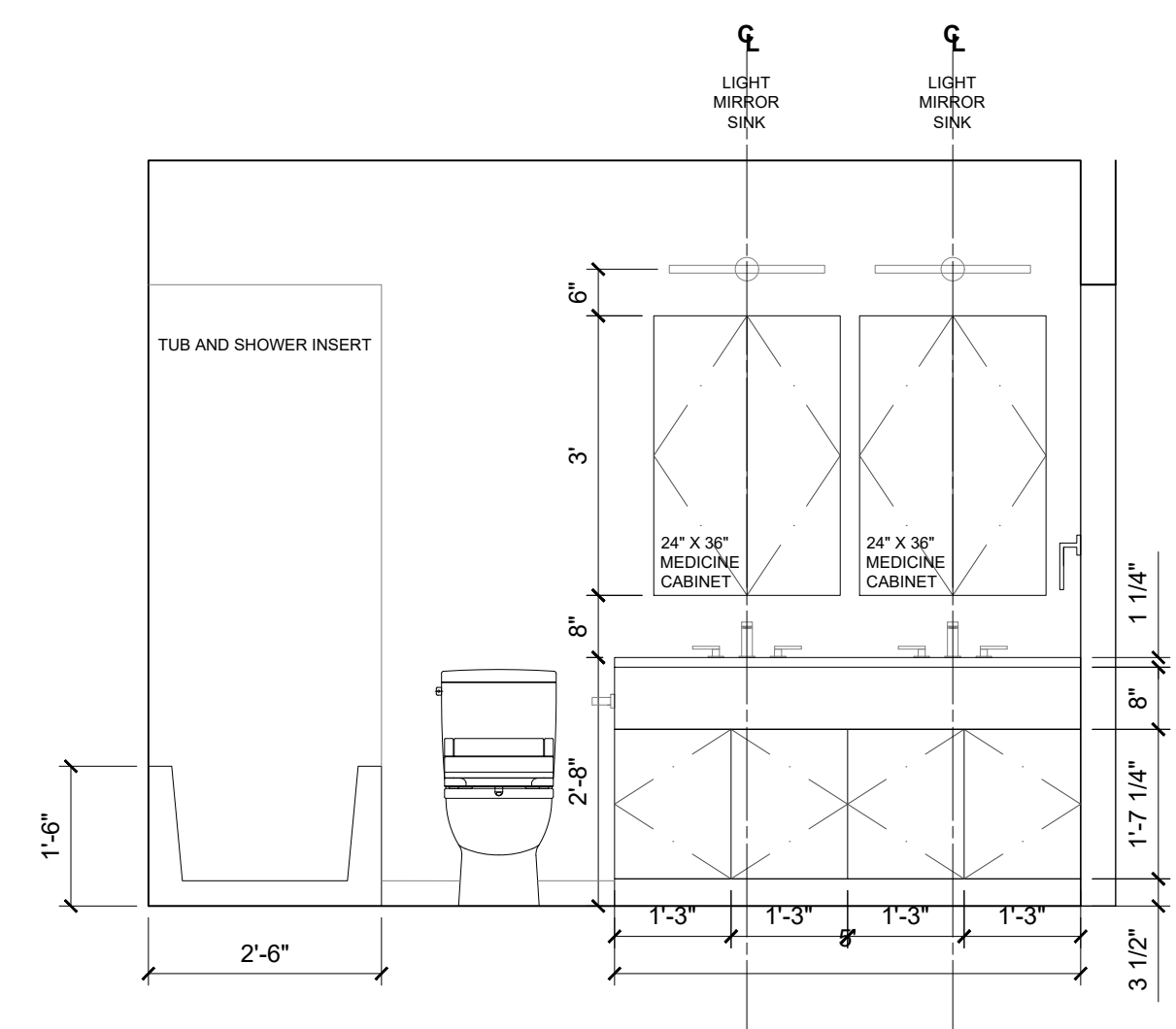
7 H4 BATHROOM
1/2" = 1'-0"



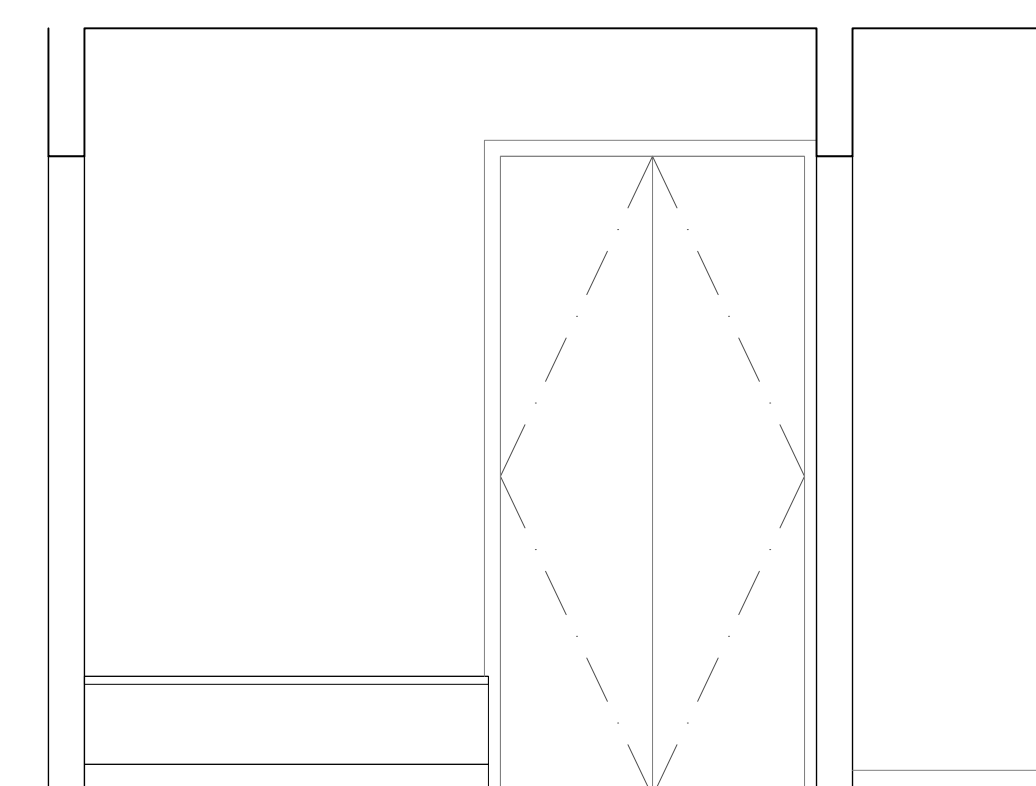
8 H4 BATHROOM
1/2" = 1'-0"



9 H4 BATHROOM
1/2" = 1'-0"



10 H4 BATHROOM
1/2" = 1'-0"



11 H4 ENTRY BENCH
1/2" = 1'-0"

PROJECT
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SHEET TITLE

H4 - TYPICAL SECTION DETAILS

SHEET NO.

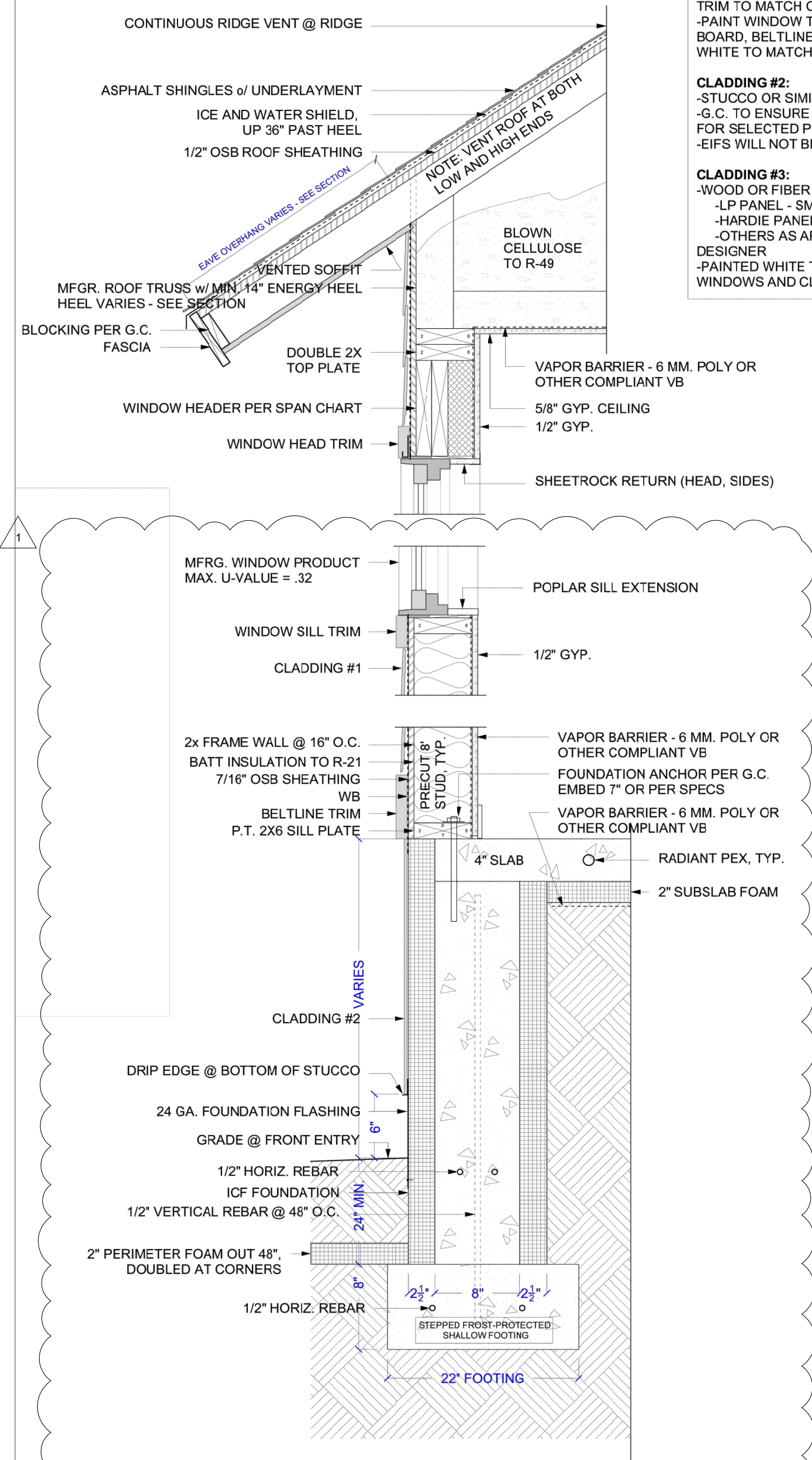
A6.0

CLADDING SCHEDULE:

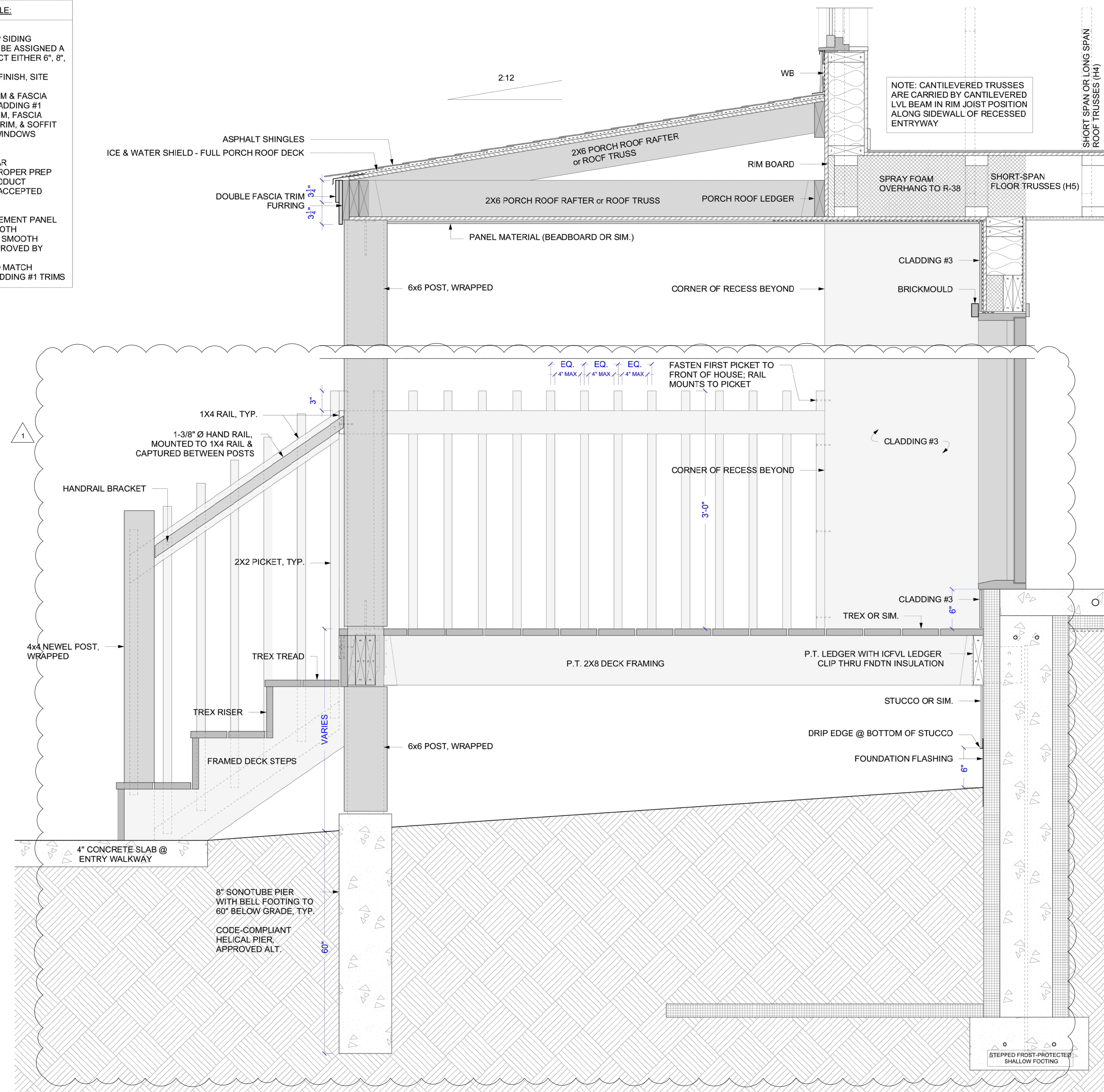
CLADDING #1:
-LP SMARTSIDE LAP SIDING
-EACH HOUSE WILL BE ASSIGNED A LAP SIDING PRODUCT EITHER 6", 8", OR 10"
-FACTORY PRIMED FINISH, SITE PAINTED
-PAINT CORNER TRIM & FASCIA TRIM TO MATCH CLADDING #1
-PAINT WINDOW TRIM, FASCIA BOARD, BELTLINE TRIM, & SOFFIT WHITE TO MATCH WINDOWS

CLADDING #2:
-STUCCO OR SIMILAR
-G.C. TO ENSURE PROPER PREP FOR SELECTED PRODUCT
-EIFS WILL NOT BE ACCEPTED

CLADDING #3:
-WOOD OR FIBER CEMENT PANEL
-LP PANEL - SMOOTH
-HARDIE PANEL - SMOOTH
-OTHERS AS APPROVED BY DESIGNER
-PAINTED WHITE TO MATCH WINDOWS AND CLADDING #1 TRIMS



1 H4 - TYPICAL WALL ASSEMBLY
1-1/2" = 1'-0"



2 H4 - TYPICAL WALL ASSEMBLY
1-1/2" = 1'-0"